

CONSTRUCTION PLANS

FOR

CRUMP ROAD - CONVENIENCE STORE

PREPARED FOR:

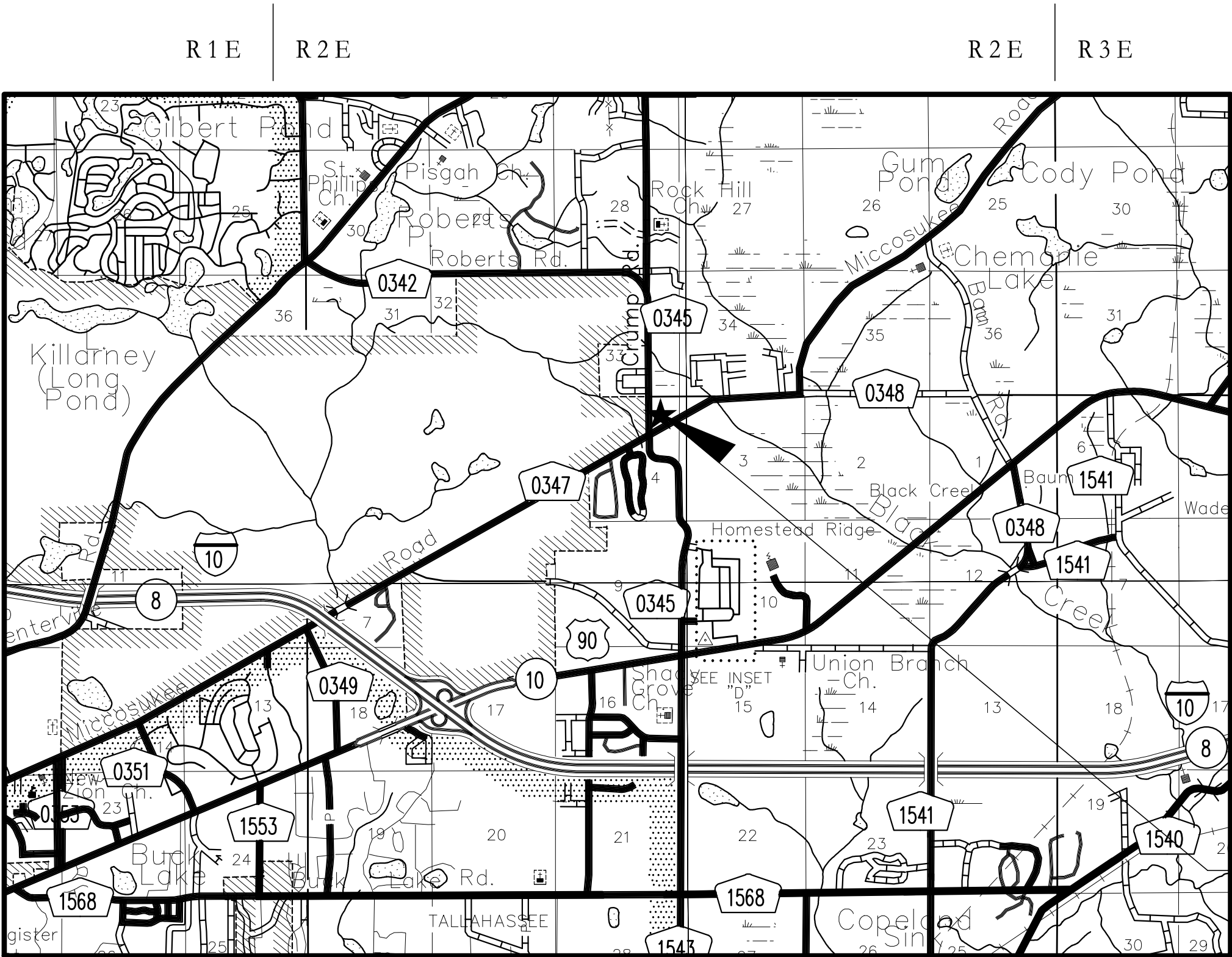
WILLIAM GLEN BROWN

2802 TOPAZ WAY

TALLAHASSEE, FL 32309

(850) 528-6293

PROPERTY OWNER : WILLIAM GLEN BROWN
PARCEL ID NUMBER: 1204200180000
ELECTRIC PROVIDER: CITY OF TALLAHASSEE
SEWER PROVIDER: ON-SEPTIC SYSTEM
POTABLE WATER: ON-SITE WELL



LOCATION MAP (SCALE: 1" = 5,000')

APRIL 30, 2014

PLANS PREPARED BY:



ALDAY-HOWELL
ENGINEERING, INC.

2860 HWY 71 NORTH, SUITE B
MARIANNA, FLORIDA 32446

PHONE (850) 526-2040 * FAX (850) 526-4740
E-MAIL : info@aldayhowell.com
FLORIDA CERTIFICATE OF AUTHORIZATION. NO. 26105

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION	DATE	REVISION
1	COVER SHEET	4/30/14	
2	BOUNDARY & TOPOGRAPHIC SURVEY	4/30/14	
3	GRADING PLAN WITH TREE SURVEY	4/30/14	
4	SITE PLAN	4/30/14	
5	DRAINAGE AND UTILITY PLAN	4/30/14	
6	TREE REMOVAL, DEMOLITION & SWPP PLAN	4/30/14	
7	LANDSCAPE PLAN	4/30/14	
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9	SITE DISTANCE & AUTO-TURN CIRCULATION PLANS	4/30/14	

CONSTRUCTION SEQUENCE:

- 1.) PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING WITH THE OWNER, LEON COUNTY INSPECTOR AND ENGINEER OF RECORD.
- 2.) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION THE OWNER IS REQUIRED TO SUBMIT A FULLY EXECUTED CONSTRUCTION COMMENCEMENT NOTICE FORM 62-346.900(3) TO THE NWFWM D.
- 3.) INSTALL MAINTENANCE OF TRAFFIC DEVICES PER FDOT INDEX #600S.
- 4.) REMOVE OR ABANDON EXISTING IMPROVEMENTS IN CONFLICT WITH THE PROPOSED DEVELOPMENT AS DEPICTED AND REQUIRED ON SHEETS 4 & 6.
- 5.) INSTALL EROSION CONTROL DEVICES THEN CLEAR AND GRUB THE SITE.
- 6.) ROUGH GRADE THE SITE AND CONSTRUCT THE SWMF AS SHOWN ON THE PLANS. INITIALLY GRADE SWMF TO WITHIN 1' OF FLOOR PRIOR TO OTHER CONSTRUCTION, AND ACHIEVE FINAL GRADE UPON STABILIZATION OF UPSLOPE AREAS. INSTALL ADDITIONAL EROSION CONTROLS AS NECESSARY TO MAINTAIN THE IMPROVEMENTS AND PREVENT SEDIMENTS FROM WASHING INTO THE RETENTION POND AND/OR OFF-SITE.
- 7.) INSTALL ON-SITE AND OFF-SITE UTILITIES INCLUDING POTABLE WELL, SEPTIC SYSTEM, STORMWATER PIPES, INLETS, OUTFALL STRUCTURES, ETC.
- 8.) COORDINATE WITH UTILITY PROVIDERS REGARDING INSTALLATION OF SERVICE LINES, CONDUIT, AND SERVICES.
- 9.) COORDINATE WITH THE OWNER AND BUILDING CONTRACTOR ON CONSTRUCTION OF THE BUILDING PAD AND BUILDING.
- 10.) CONSTRUCT THE CURB AND GUTTER, BASE, FINE GRADE, AND STABILIZE (SOD) THE DISTURBED AREAS.
- 11.) CONSTRUCT THE ASPHALT PAVEMENT.
- 12.) CONSTRUCT LANDSCAPING PER LANDSCAPE PLAN. ALL REMAINING DISTURBED AREAS, NOT OTHERWISE NOTED TO BE STABILIZED, SHALL BE SEEDED, MULCHED AND FERTILIZED.

GRASS SEED WILL BE PLANTED USING THE FOLLOWING BLEND.

BAHIA (PENSACOLA OR ARGENTINE)	30 POUNDS/ACRE
BERMUDA	30 POUNDS/ACRE
TEMPORARY SEED	30 POUNDS/ACRE
TOTAL SEEDING RATE	90 POUNDS/ACRE

FROM APRIL THROUGH SEPTEMBER, USE BROWN-TOP OR JAPANESE MILLET AND FROM OCTOBER THROUGH MARCH, ANNUAL RYE GRASS.

AFTER SEEDING, APPROXIMATELY TWO INCHES (LOOSE THICKNESS) OF MULCH MATERIAL SHALL BE APPLIED OVER THE SEEDED AREA AND CUT INTO THE SOIL.

- 13.) CONSTRUCT STRIPING AND SIGNAGE.
- 14.) COORDINATE FINAL CLOSEOUT OF THE PROJECT WITH OWNER, ENGINEER OF RECORD & LEON COUNTY INSPECTOR. CONTRACTOR TO COORDINATE POST CONSTRUCTION CERTIFICATION AND LEON COUNTY OPERATING PERMIT PRIOR TO FINAL INSPECTION MEETING WITH LEON COUNTY INSPECTOR.
- 15.) AS-BUILT SURVEY, ENGINEER COMPLIANCE STATEMENT AND OPERATING PERMIT APPLICATION SHALL BE PROVIDED TO LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT & ENVIRONMENTAL MANAGEMENT AT LEAST 14 DAYS PRIOR TO REQUEST FOR FINAL INSPECTION.

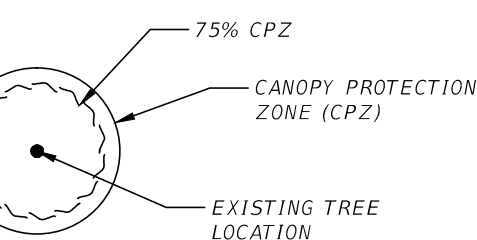
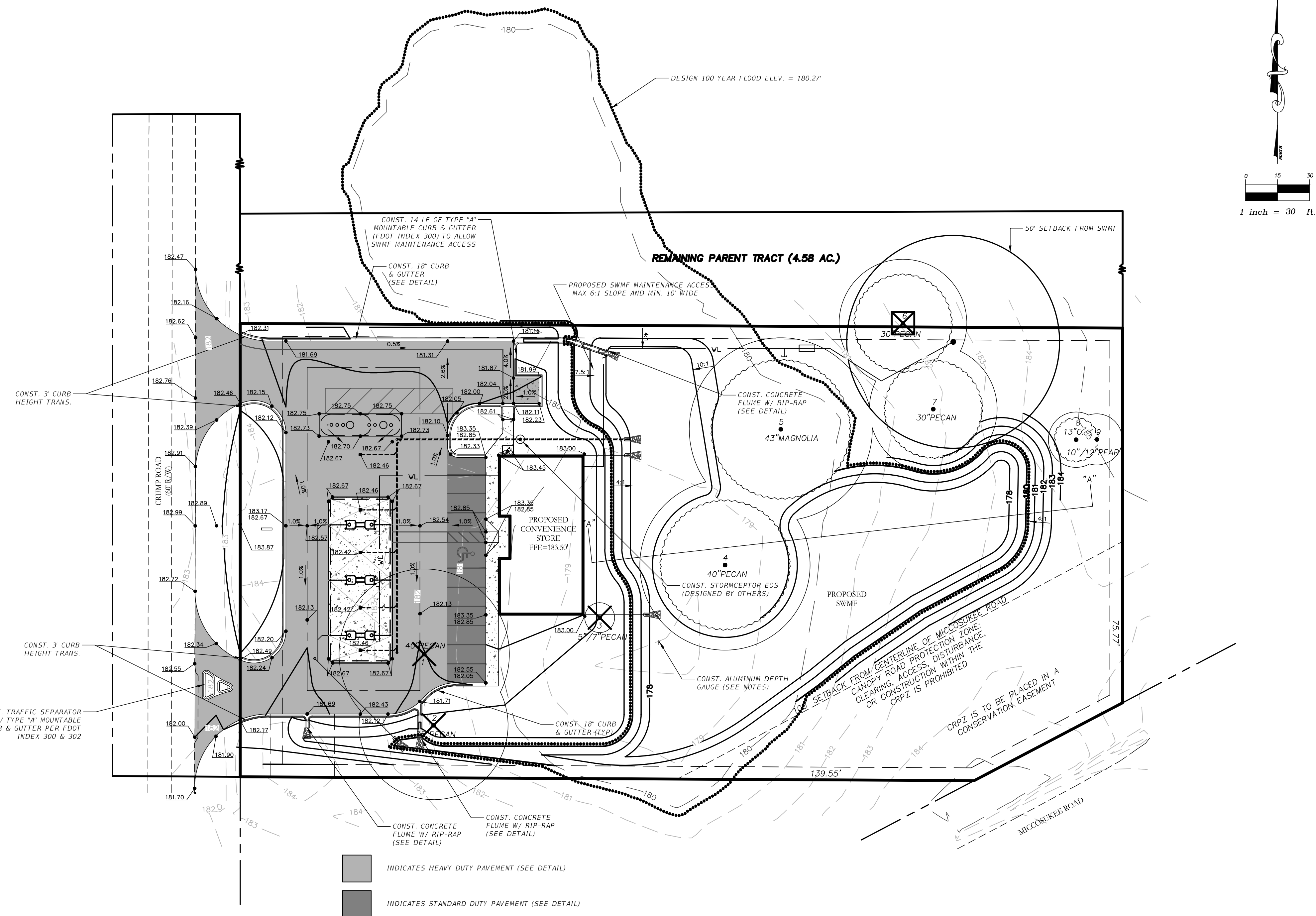
A P P R O V A L		
TYPE 'A' SITE AND DEVELOPMENT PLAN		
LEON COUNTY DEPARTMENT OF DEVELOPMENT SUPPORT & ENVIRONMENTAL MANAGEMENT		
NAME AND TITLE	DATE	

ATTENTION IS DIRECTED TO THE FACT THAT THESE PLANS MAY HAVE BEEN ALTERED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.

ENGINEER OF RECORD: JOSEPH ALDAY, PE
FLA. LICENSE # 57953

GENERAL NOTES:

1. ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON A BOUNDARY & TOPOGRAPHIC SURVEY BY LANGSTON SURVEYING AND MAPPING, LLC (850) 491-3880.
2. SURVEY DATUM - NAVD 88
3. AT THE PRE CONSTRUCTION MEETING THE CONTRACTOR SHALL DESIGNATE A REPRESENTATIVE WHO SHALL BE CAPABLE OF BEING REACHED 24 HOURS A DAY, 7 DAYS A WEEK.
4. ALL EXISTING UTILITIES MAY NOT HAVE BEEN LOCATED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND PROVIDE FOR PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY SUNSHINE ONE, CALL (1-800-432-4770), 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. PIPE LENGTHS SHOWN INCLUDE THE MITERED END SECTIONS.
6. UNLESS OTHERWISE NOTED, ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED AND MULCHED.
7. UNLESS OTHERWISE INDICATED OR MODIFIED ON THE PLANS ALL ROADWAY AND DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2010, SUPPLEMENTS AND SPECIAL PROVISIONS THERETO.
8. MINIMUM COMPACTION FOR FILL SECTIONS SHALL BE 95% MODIFIED PROCTOR. SOIL UNDER ALL STRUCTURES AND PAVED AREAS (MIN. 18" DEPTH) SHALL BE COMPACTED TO 95% MODIFIED PROCTOR. STRUCTURAL FILL SOILS SHOULD BE PLACED IN MAXIMUM 12 INCH LIFTS AND COMPACTED TO A MINIMUM SOIL DENSITY OF 95% MODIFIED PROCTOR. THE TOP 12 INCHES OF SUBGRADE SHOULD BE COMPACTED TO A MINIMUM SOIL DENSITY OF 98% MODIFIED PROCTOR. BORROW MATERIAL, IF REQUIRED, IS TO BE PROVIDED BY THE CONTRACTOR AND HAVE A MINIMUM LBR VALUE OF 40. TOPSOIL IS TO BE STRIPPED AND STOCKPILED. FOLLOWING FINAL GRADING, PLACE STOCKPILED TOPSOIL, AS NEEDED, OVER DISTURBED AREA.
9. WHERE REFERENCE IS MADE TO STANDARD INDEX OR DETAIL, THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, 2014, SHALL BE USED AS IF A PART OF THIS PLAN. FOR DESIGN STANDARD MODIFICATIONS CLICK ON "DESIGN STANDARDS" AT THE FOLLOWING WEB SITE: <http://www.dot.state.fl.us/rddesign/>
10. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. SEDIMENT CONTROL DEVICES SHOWN ON THE PLANS ARE MINIMUM REQUIREMENTS. ADDITIONAL SEDIMENT CONTROLS MAY BE REQUIRED BY THE LOCAL INSPECTOR TO PREVENT SEDIMENTS FROM LEAVING THE SITE. THESE ADDITIONAL SEDIMENT CONTROLS ARE THE CONTRACTOR'S RESPONSIBILITY. ADDITIONALLY, STORMWATER RUNOFF IS TO BE CONTROLLED DURING CONSTRUCTION AS TO NOT DETRIMENTALLY AFFECT ADJACENT PROPERTIES.
11. SOIL COMPACTION, ASPHALT, AND BASE IN PLACE TESTING SHALL BE PERFORMED BY A STATE OF FLORIDA REGISTERED GEOTECHNICAL ENGINEER AT THE EXPENSE OF THE CONTRACTOR. DENSITIES FOR FILL MATERIAL, BASE MATERIAL, ASPHALT TESTING, AND OTHER AREAS WITH REQUIRED PERCENT OF COMPACTION SHALL BE TAKEN AT THE RATE OF ONE PER LIFT (6" MAXIMUM COMPACTED THICKNESS) PER 300 SQUARE YARDS. THE CONTRACTOR SHALL COORDINATE TESTING WITH THE ENGINEER TO INSURE COMPLIANCE WITH THE ABOVE REQUIREMENTS.
12. THE CONTRACTOR SHALL PROVIDE A DESIGN MIX FOR THE ASPHALT INDICATED AND IT SHALL BE SIGNED BY A PROFESSIONAL ENGINEER CERTIFIED BY FDOT FOR DESIGN OF ASPHALT MIXES. THE MINIMUM COMPACTION FOR ASPHALT SHALL BE 95% OF THE MAXIMUM LABORATORY DENSITY. THE FINISHED SURFACE SHALL BE SMOOTH AND FREE OF TEARS. ANY NONCONFORMING SURFACE SHALL BE SAW CUT AT THE LIMITS OF NONCONFORMITY IN A STRAIGHT LINE AND REMOVED AND REPLACED.
13. THE CONTRACTOR SHALL SUBMIT A POST-CONSTRUCTION CERTIFICATION AND REPRODUCIBLE RECORD DRAWINGS TO THE ENGINEER PRIOR TO INSPECTION AND ACCEPTANCE. THE RECORD DRAWINGS SHALL BE PREPARED AND CERTIFIED BY A PROFESSIONAL LAND SURVEYOR.
14. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF THE DISCOVERY OF ANY ERRORS AND/OR OMISSIONS IN THE PLANS OR SPECIFICATIONS. THE ENGINEER WILL MAKE SUCH CORRECTIONS AND INTERPOLATIONS AS DEEMED NECESSARY REFLECTING THE ACTUAL SPIRIT AND INTENT OF THE PLANS AND SPECIFICATIONS.
15. SUBDIVISION OF THE PROPERTY IS REQUIRED AS PROPOSED AND DEPICTED. THE RESULTING PARCEL SIZE SHALL NOT EXCEED TWO (2) ACRES PURSUANT TO THE POLICY 3.1.2 OF THE LAND USE ELEMENT OF THE COMPREHENSIVE PLAN. SUBDIVISION MAY ONLY COMMENCE UPON APPROVAL OF THE PROPOSED SITE PLAN.
16. THE FOLLOWING PERMITS/APPROVALS HAVE OR WILL BE OBTAINED FOR THIS PROJECT:
 - A. LEON COUNTY ENVIRONMENTAL PERMIT
 - B. NWFWM GENERAL PERMIT FOR SMALL PROJECT "10/2"
 - C. NPDES PERMIT
17. UPON ROUGH GRADING (WITHIN 3 INCHES), THE CONTRACTOR SHALL STOP WORK TO ALLOW FOR INSTALLATION OF UTILITIES. THE CONTRACTOR SHALL CERTIFY THAT THE SITE IS WITHIN THIS TOLERANCE.
18. THE CONSTRUCTION SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD AND SEDIMENTS ONTO THE STREETS. ANY SEDIMENTS OR MUD SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS SHALL BE RECOVERED AND CLEANED IMMEDIATELY.
19. THE CONTRACTOR SHALL CONFINE ALL WORK WITHIN THE BOUNDARIES, EASEMENTS AND RIGHT OF WAY OWNED BY THE DEVELOPER, THE STATE OR THE COUNTY. NO TRESPASSING IS ALLOWED.
20. IF DURING CONSTRUCTION OR OPERATION OF THE STORMWATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDA AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL SHALL BE TAKEN AS SOON AS POSSIBLE TO CORRECT THE FAILURE. A REPORT PREPARED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.
21. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN THREE DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
22. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO COORDINATE WITH THE OWNER TO SUBMIT THE CONSTRUCTION COMMENCEMENT NOTICE FORM 62-346.900(3) TO THE NWFWM D. ALSO, THE AS-BUILT CERTIFICATION BY A REGISTERED PROFESSIONAL FORM 62-346.900(4) SHALL BE SUBMITTED TO THE NWFWM D WITHIN 30 DAYS AFTER WORK IS COMPLETED.
23. MAINTENANCE OF TRAFFIC FOR CONSTRUCTION OF DRIVEWAYS SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX 600S
24. CONTRACTOR IS REQUIRED TO REVIEW THE COMPLETE NWFWM D PERMIT PRIOR TO CONSTRUCTION COMMENCEMENT.
25. A COPY OF THE NWFWM D PERMIT IS TO BE KEPT ON-SITE
26. AN 8.5"X 11" WEATHER RESISTANT SIGN, INCLUDING THE NWFWM D PERMIT NUMBER SHALL BE PLACED ON THE PROPERTY FACING THE ROAD.
27. APPROVED AS-BUILT AND OPERATING PERMITS ARE REQUIRED PRIOR TO FINAL INSPECTION.

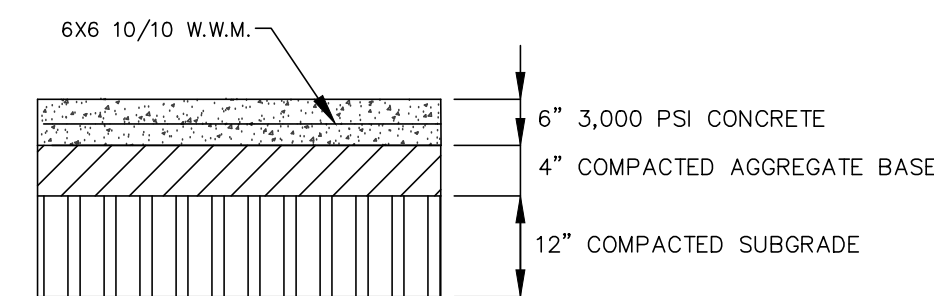


TREE SURVEY		
TREE #	COMMON NAME	SIZE (DBH)
1	PECAN	40"
2	PECAN	35"
3	TWIN PECAN	5'7"
4	PECAN	40"
5	MAGNOLIA	43"
6	PECAN	30"
7	PECAN	30"
8	OAK	13"
9	TWIN PEAR	10"/12"

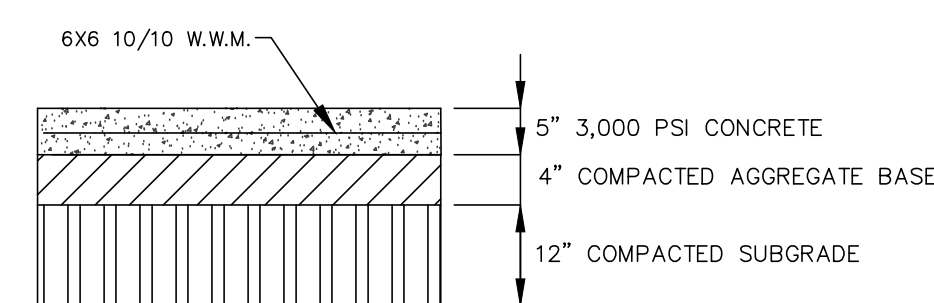
- NOTES:
1. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH FDOT INDEX 602 & 603
 2. FILL SHOULD CONSIST OF LOW PLASTICITY, LOW PERMEABLE ENGINEERED FILL BETWEEN 12 AND 25 PERCENT FINES AND A PLASTICITY INDEX OF 15 OR LESS.
 3. ALL PROPOSED BERMS AND BACKSLOPES MUST BE CONSTRUCTED WITH A MINIMUM OF A 3:1 SLOPE AND MUST BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
 4. ANY SUBSURFACE CONDUITS IDENTIFIED DURING EXCAVATION OF THE SWMF, INCLUDING IMPROPERLY ABANDONED WELLS, SHALL BE PROPERLY FILLED AND OR ABANDONED.
 5. IN THE EVENT ANY LIMESTONE IS IDENTIFIED DURING THE EXCAVATION OF THE SWMF, THE ENGINEER AND LODSEM SHALL BE CONTACTED. ADDITIONAL IMPROVEMENTS AND ANALYSIS WILL BE REQUIRED TO ENSURE PROPER SEPARATION BETWEEN THE FLOORS OF THE SWMF AND SUBSURFACE KARST FEATURES.
 6. IN THE EVENT A SINKHOLE OR OTHER OPENING FORMS WITHIN THE SWMF, THE ENGINEER AND LODSEM SHALL BE CONTACTED. ADDITIONAL IMPROVEMENTS AND ANALYSIS WILL BE REQUIRED TO ENSURE PROPER SEPARATION BETWEEN THE FLOORS OF THE SWMF AND SUBSURFACE KARST FEATURES.

ALUMINUM DEPTH GAUGE NOTES:

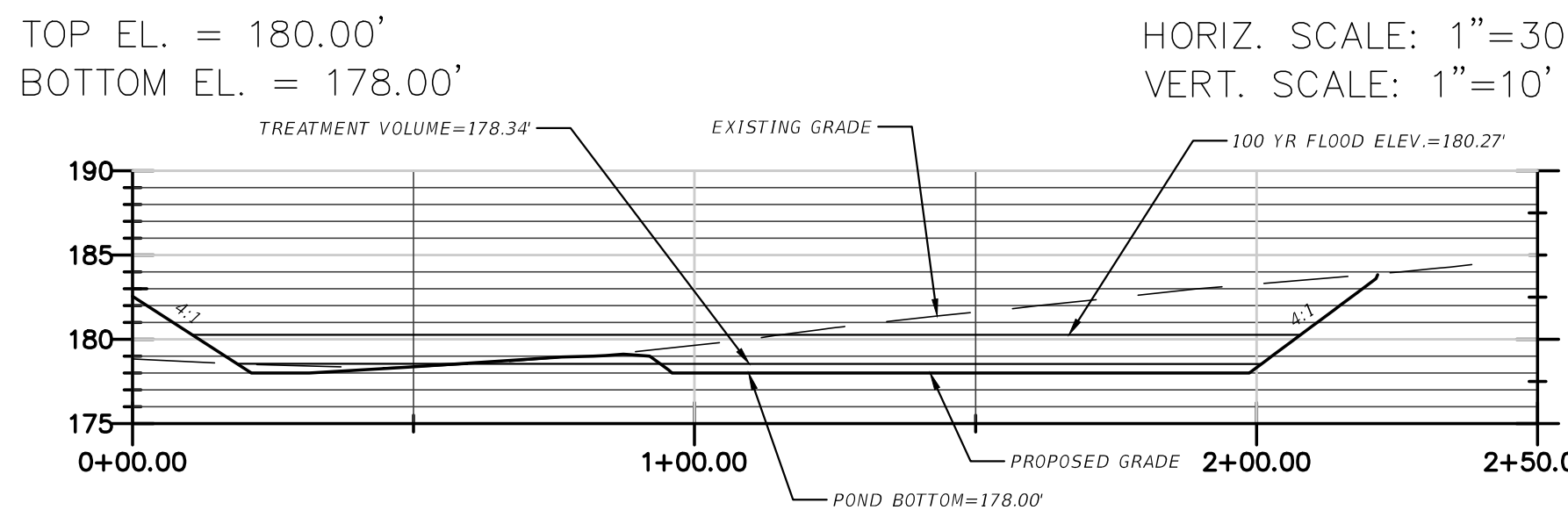
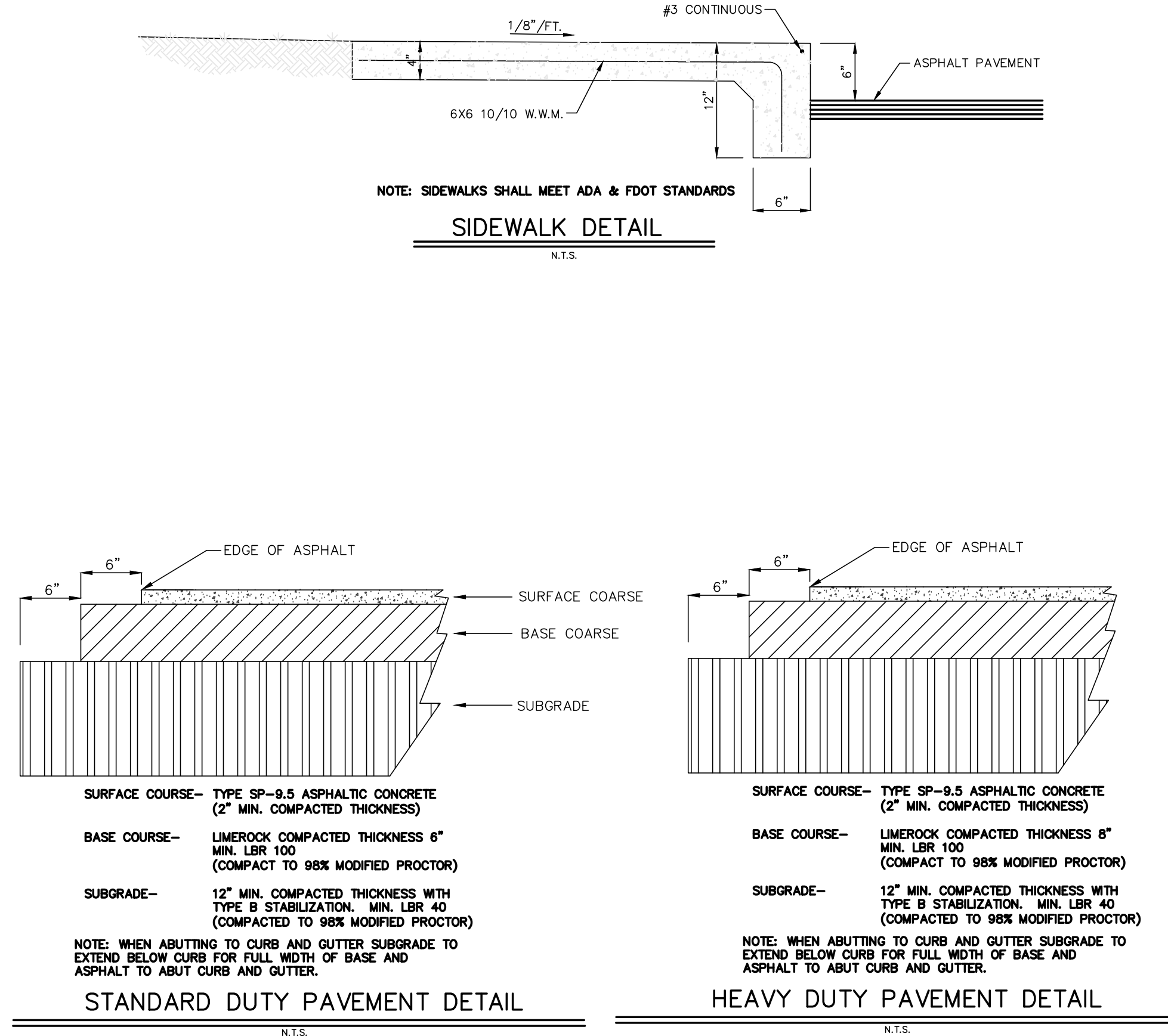
1. THE GAUGE SHALL BE INSTALLED IN THE POND BOTTOM AND RISE VERTICALLY TO A HEIGHT OF 3' ABOVE POND BOTTOM.
2. THE GAUGE SHALL BE MARKED IN ONE TENTH FOOT INCREMENTS WITH VERTICAL ELEVATIONS INDICATED AT ONE FOOT INTERVALS, OR BE MARKED WITH A SIMILAR STYLE APPROVED BY THE DISTRICT. THE ELEVATION REPRESENTING THE TREATMENT VOLUME STAGE SHALL BE CLEARLY INDICATED, AND SHALL BE VERIFIED BY SURVEY.
3. THE GAUGE SHALL BE MOUNTED AND STABILIZED TO PREVENT MOVEMENT DUE TO REASONABLY ANTICIPATED CONDITIONS.



CANOPY CONCRETE DETAIL



CONCRETE DUMPSTER PAD DETAIL



- NOTES:
1. HEAVY EQUIPMENT SHALL BE KEPT OUT OF THE STORMWATER MANAGEMENT FACILITY (SWMF) TO PREVENT UNNECESSARY COMPACTION OF THE SOIL.
 2. UPON COMPLETION OF THE SITE WORK AND UPON STABILIZATION OF THE ENTIRE SITE, THE CONTRACTOR SHALL REMOVE ALL SEDIMENTS FROM THE SIDES AND BOTTOM OF THE HOLDING POND. THIS SEDIMENT REMOVAL SHALL INCLUDE THE EXISTING SOIL TO A DEPTH TO WHICH THE SEDIMENT HAS MIGRATED TO ASSURE THAT THE NATURAL SOIL PERCOLATION IS REESTABLISHED. THE POND BOTTOM COMPACTION IS CRITICAL TO THE PERCOLATION OF THE NATURAL SOILS. THE CONTRACTOR SHALL UTILIZE APPROPRIATE EQUIPMENT TO MAINTAIN NATURAL SOIL COMPACTION OR SHALL REESTABLISH AT THE PROJECT CLOSE-OUT. RE-ESTABLISHMENT WILL REQUIRE DISKING, UNDERCUT, REMOVAL AND BACKFILLING WITH SAND, BOTTOM PLOWING, AND/OR OTHER METHODS AS NECESSARY.
 3. SWMF SIDE SLOPES TO BE STABILIZED WITH SOD WITHIN 3 DAYS OF FINAL GRADE.

REVISIONS			
DESCRIPTION	INITIALS	DATE	

CLIENT:
WILLIAM GLEN BROWN

PROJECT:
**CRUMP ROAD
CONVENIENCE STORE**

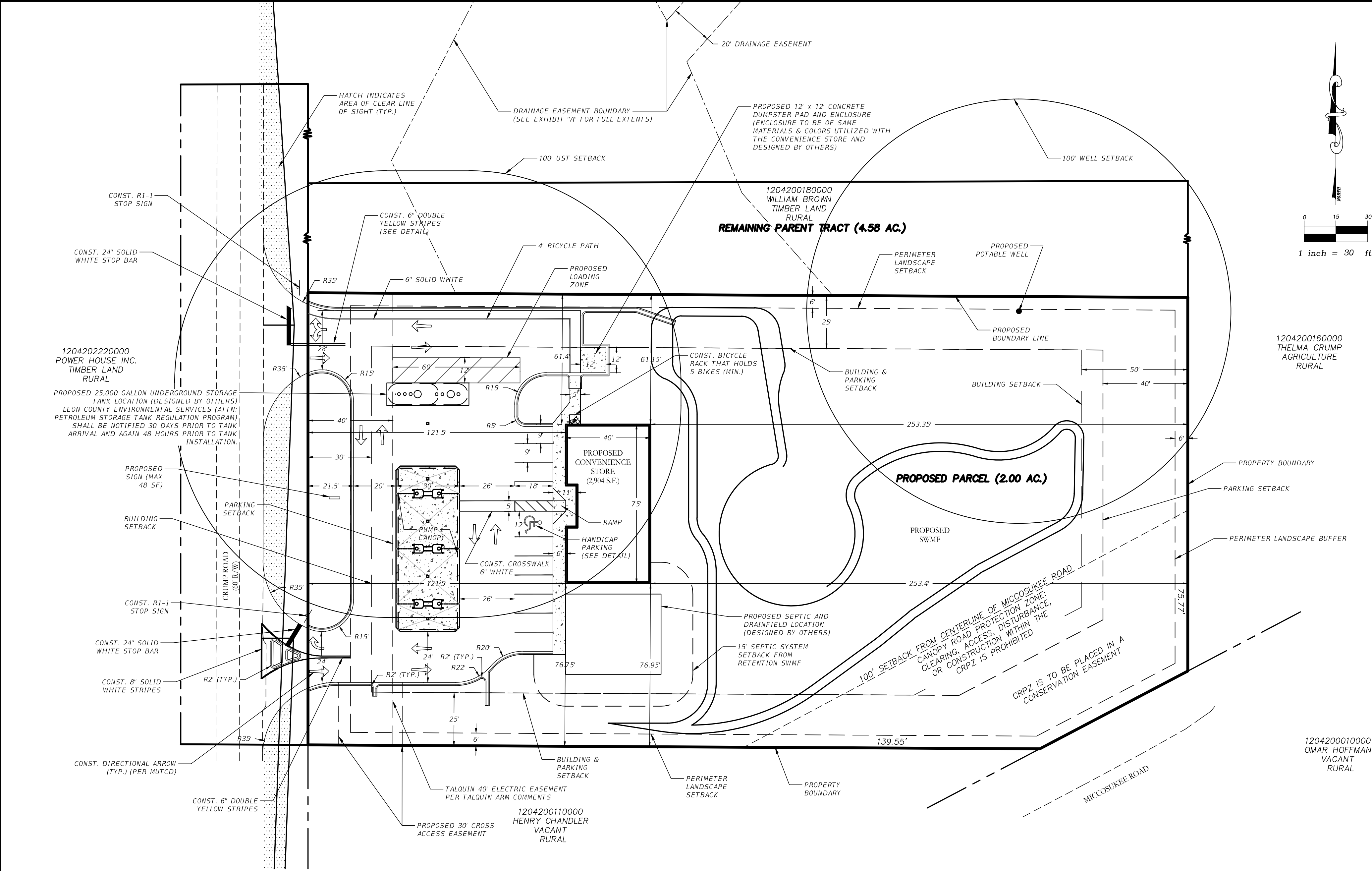
SHEET TITLE:
GRADING WITH TREE SURVEY

1"
IF THIS LINE DOES NOT
MEASURE ONE INCH IN
LENGTH, THE SCALES
ON THIS DRAWING ARE
NOT VALID.

NOT VALID UNLESS EMBOSSED

JOB NO. 13-034
DRAWN BY ECW
CHECKED BY JAA
DATE 4/30/14
SHEET 3

S:\1.0 Projects\13-034 Crump Rd Station\dwg\Construction Plan Set\13-034 Crump Road.dwg, 04-SP, Eric, May 01, 2014, 11:35:20am



PROJECT DATA

PARCEL I.D. #: 1204200180000
PROJECT NAME: CRUMP ROAD - CONVENIENCE STORE
OWNER/APPLICANT: WILLIAM GLEN BROWN
2802 TOPAZ WAY
TALLAHASSEE, FL 32309
PLANS PREPARED BY: ALDAY-HOWELL ENGINEERING, INC.
2860 HWY 71, NORTH, SUITE B
MARIANNA, FL 32446
PROPOSED BUILD OUT DATE: ONE (1) YEAR FROM ISSUANCE OF PERMITS

SITE DATA

ZONING: RURAL
FUTURE LAND USE: RURAL
EXISTING USE: RURAL
PROPOSED USE: CONVENIENCE STORE
PROPOSED BUILDING AREA: 2,904 SF PER FLOOR
PROPOSED BUILDING HEIGHT: 35 FEET
FLOOR AREA RATIO: 0.033
REQUIRED SETBACKS:
BUILDING
FRONT - 30'
SIDE - 25'
REAR - 50'
PARKING
FRONT - 40'
SIDE - 25'
REAR - 40'

PARKING
REQUIRED SPACES: 10 STANDARD & 1 HANDICAP
PROVIDED SPACES: 10 STANDARD & 1 HANDICAP

STATISTICAL INFORMATION

DESCRIPTION	AREA (SF)	AREA (AC)	% COVERAGE
TOTAL ACREAGE OF SITE	87,134	2.00	100
EXISTING IMPERVIOUS AREA	1,830	0.04	2
PROPOSED BUILDING FOOT PRINT	2,904	0.07	3
VEHICULAR USE AREA	17,272	0.40	20
SIDEWALK AND MISC. IMPERVIOUS	1,987	0.05	2
TOTAL IMPERVIOUS (POST) (NOT INCLUDING STORMWATER FACILITY)	22,163	0.51	25
TOTAL PERVIOUS (POST) (INCLUDING STORMWATER FACILITY)	64,971	1.49	75

NOTE: LANDSCAPE, NATURAL AREA AND CANOPY COVERAGE REQUIREMENTS ARE ADDRESSED ON SHEET 7.

CONTRACTOR NOTICE 2012 (as revised July 2012)

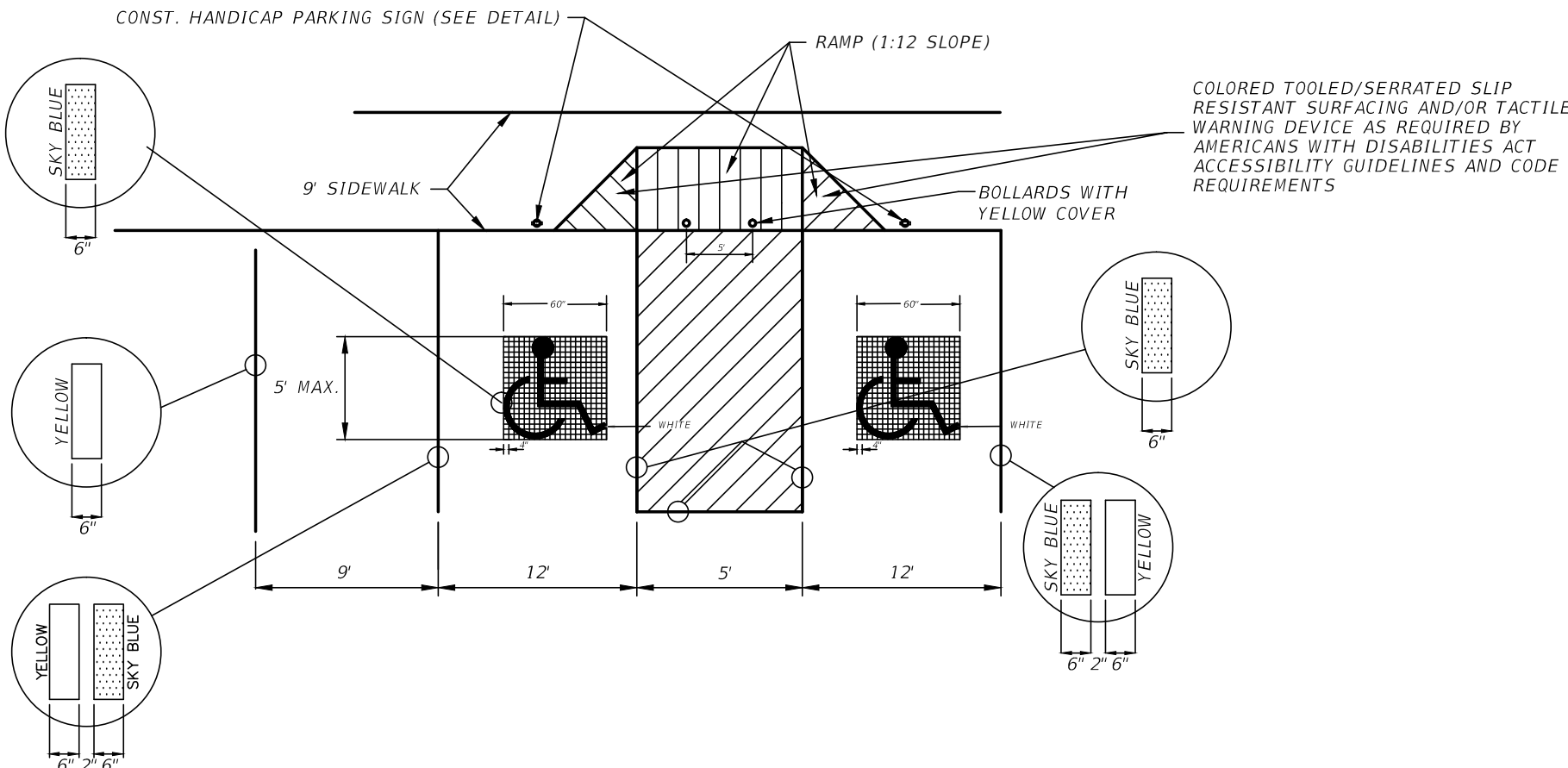
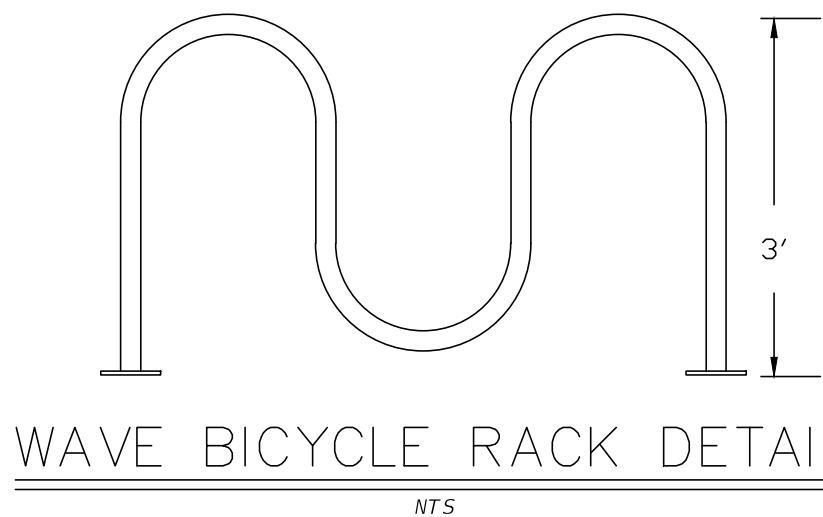
The Contractor & Owner will be held accountable during construction for all site improvements. Compliance with Florida Statutes 553.5041 (F.S.), and the 2010 Florida Accessibility Code for Building Construction (FACBC), is mandatory. If incorrect at final inspection, contractor will be required to modify construction to comply with F.S. and FACBC. The following items take precedence and supersede other site details on drawings:

- Accessible parking spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles. §208.3 and §502.3, FACBC and F.S. 553.5041.
- Accessible (H/C) parking spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible (H/C) parking to an accessible entrance. §208.3.1 FACBC and F.S. 553.5041.
- Accessible parking spaces shall be 12' wide outlined with blue paint. §502.2 FACBC.
- Access aisles required adjacent to parking spaces shall be 5' wide with diagonal striping. §502.2 & §502.3 FACBC.
- Parking spaces and access aisles shall be level (not to exceed 1/4") on a stable, firm & slip resistant surface. Re: §302.1 and §502.4 FACBC.
- Accessible Parking signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Install signs a minimum 60" (inches) from the ground to the bottom of the sign(s). Re: §502.6.1 and F.S. 553.5041.
- Curb ramp slopes shall not exceed 1:12 slope; the counter slope of adjacent road surfaces & gutters shall not exceed 1:20 slope. Curb ramp side slopes shall not exceed 1:10 slope. Curb ramps shall not encroach parking spaces or access aisles. Re: §406, FACBC.
- All ramps with a rise greater than 6" shall provide edge protection complying with §405.9.1 FACBC or §405.9.2 FACBC. Ramps shall have 60" min level landings at the top & bottom. Re: §405.7 FACBC.
- All ramps with a rise greater than 6" shall have handrails on both sides with 12" horizontal extensions at the top & bottom of the ramp. Re: §505.10 FACBC.
- Accessible route to "main entry" from an accessible parking space shall not exceed 1:20 slope (unless ramps and handrails are provided) with cross slope not in excess of 1:48. Re: §206 FACBC.
- Accessible route to "public way" shall not exceed 1:20 slope (unless ramps with handrails are provided). The maximum cross slope of the accessible route is 1:48. Re: §206 FACBC.
- *EXCEPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicular way not providing pedestrian access. Re: §206.2.2 FACBC.

Revised July 17, 2012

HANDICAP PARKING SIGN DETAIL

N.T.S.
NOTE: PAINTED STANDARD PARKING STALL AND ISLAND STRIPE COLOR SHALL BE YELLOW AND COLOR FOR H.C. ACCESSIBLE PARKING SHALL BE SKY BLUE. BOLLARDS AND CONCRETE PARKING STOPS (WHEN USED) SHALL BE PAINTED YELLOW. PAINT SHALL BE A REFLECTIVE TYPE.



HANDICAP & REGULAR PARKING DETAIL

N.T.S.

SUBDIVISION AND SITE AND DEVELOPMENT PLAN NOTE:

SUBDIVISION OF THE PROPERTY IS REQUIRED AS PROPOSED AND DEPICTED. THE RESULTING PARCEL SIZE SHALL NOT EXCEED TWO (2) ACRES PURSUANT TO THE POLICY 3.1.2 OF THE LAND USE ELEMENT OF THE COMPREHENSIVE PLAN. SUBDIVISION MAY ONLY COMMENCE UPON APPROVAL OF THE PROPOSED SITE PLAN.

PAVEMENT MARKINGS/STRIPING NOTES:

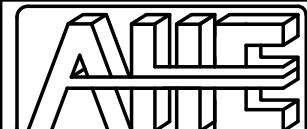
- WAIT MINIMUM OF 30 DAYS AFTER ASPHALT CONCRETE PLACEMENT TO PLACE PERMANENT MARKING.
- TEMPORARY STRIPING TO BE PAINTED STOP BAR ONLY.
- ALL SIGNAGE AND STRIPING IS TO BE PER MUTCD STANDARDS.
- ALL STRIPING IN FDOT ROW TO BE THERMOPLASTIC.

NOTES:

- ALL PAVEMENT MARKINGS TO BE PER MUTCD STANDARDS.
- ANY PROPOSED SIGNAGE MUST MEET THE CRITERIA IN ARTICLE IX, LEON COUNTY LAND DEVELOPMENT CODE.
- THE HANDICAP PARKING SHALL MEET ALL ADA AND FDOT REQUIREMENTS.
- NO HAZARDOUS OR TOXIC MATERIALS OR WASTE TO BE USED OR PRODUCED ON SITE OTHER THAN THE USE OF PETROLEUM FOR FUELING PURPOSES.
- NO RADIOACTIVE MATERIALS OR WASTES, EXPLOSIVES, OR FLAMMABLE MATERIALS TO BE USED OR PRODUCED ON SITE OTHER THAN THE USE OF PETROLEUM FOR FUELING PURPOSES.
- ANY HAZARDOUS MATERIALS THAT MAY BE FOUND ON-SITE SHALL NOT BE MOVED OFF SITE WITHOUT PROPER PERMITTING.
- NO MANUFACTURING, PRODUCTION, PROCESSING AND OTHER INDUSTRIAL ACTIVITIES ARE ALLOWED ON SITE.
- THE PROJECT PROPOSES 3 GASOLINE ISLANDS WITH 1 FUELING STATION ON EACH SIDE AND 1 OUTSIDE ISLAND W/ AN ADDITIONAL DIESEL FUELING STATION FOR A TOTAL OF 7 FUELING STATIONS.
- THE CONTRACTOR IS TO OBTAIN PERMITS THROUGH NFWMD FOR THE WELL ABANDONMENT AND NEW WELL INSTALLATION PER CHAPTER 40A-3 F.A.C.
- THE EXISTING SEPTIC TANK IS TO BE ABANDONED PER LEON COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH REQUIREMENTS.
- APPROVED AS-BUILT AND OPERATING PERMITS ARE REQUIRED PRIOR TO FINAL INSPECTION.
- A MANUAL FIRE ALARM SYSTEM WITH COMPLETE SMOKE DETECTION LOCATED AT THE FACILITY IS REQUIRED PER TALLAHASSEE FIRE DEPARTMENT.

REQUIRED DESIGN ALTERNATIVES:

- A. GROUND SIGN - THE DEVELOPMENT IS LIMITED TO ONE GROUND SIGN. THE GROUND SIGN SHALL BE LIMITED IN HEIGHT AND AREA TO BETTER SUITE THE RURAL CHARACTER (E.G. SIX (6) FEET, NOT TO EXCEED 48 SQUARE FEET TOTAL AREA). THE TYPE OF SIGN SHALL BE A MONUMENT OR PEDESTAL WITH MATERIALS, COLORS AND DESIGN CONSISTENT WITH THOSE USED FOR THE STORE. THE GROUND SIGN SHALL BE EXTERNALLY LIT WITH LIGHTING THAT IS LOW-WATTAGE AND DOWNWARD DIRECTED. THE USE OF SUPER GRAPHICS AND LOGOS IS NOT PERMISSIBLE. SINCE THE PROPOSAL IS FOR MINOR COMMERCIAL WITHIN A RURAL AREA, THE USE OF DIGITAL OR ANIMATED SIGNS IS PROHIBITED. THE SIGN CONTRACTOR IS TO CONTACT MARK GAINOUS WITH TALQUIN ONE (1) WEEK IN ADVANCE OF THE SIGN CONSTRUCTION.
- B. WALL SIGN - ONE WALL SIGN IS PERMISSIBLE FOR THE CONVENIENCE STORE. THE WALL SIGN SHALL BE MOUNTED ON THE FACADE THAT IS DIRECTLY ADJACENT TO CRUMP ROAD. THE WALL SIGN SHALL BE EXTERNALLY LIT WITH LOW-WATTAGE LIGHTING THAT IS DOWNWARD DIRECTED. THE SOURCE OF LIGHTING SHALL BE CONCEALED AND ANGLED SO AS TO NOT DIRECT LIGHT AWAY FROM THE BUILDING OR UPWARD TOWARDS THE SKY. IN KEEPING WITH THE RURAL CHARACTER, THE WALL SIGN SHALL NOT BE MOUNTED GREATER THAN 20 FEET IN HEIGHT AND SHALL NOT BE LARGER THAN 80 SQUARE FEET IN TOTAL AREA. THE SIGN SHOULD NOT COMPETE ARCHITECTURALLY WITH THE BUILDING AND SHOULD BE INTEGRATED INTO THE BUILDING DESIGN. THE USE OF DIGITAL OR ANIMATED SIGNS IS PROHIBITED.
- C. GAS CANOPY - TO FACILITATE COMPATIBILITY AND A MORE RURAL SCALE, THE GAS CANOPY SHALL BE NO GREATER IN HEIGHT THAN 17 FEET BUT NO LESS THAN 13' 6", AS MEASURED FROM GRADE TO THE TOP OF THE CANOPY. THE HEIGHT OF THE CANOPY, AS MEASURED FROM THE UNDERSIDE OF THE CANOPY TO THE GRADE, SHOULD BE NO TALLER THAN 14 FEET. THE CANOPY SHOULD INCORPORATE INTO THE DESIGN, 12 INCH OVERHANGS WITH RECESSED LIGHTS THAT REDUCE THE AMOUNT OF LIGHT TRESPASS. THE NUMBER OF LIGHTS AND WATTAGE OF BULBS UTILIZED UNDER THE CANOPY SHOULD BE MINIMIZED TO REDUCE LIGHT TRESPASS WHILE MAINTAINING A SAFELY LIT ENVIRONMENT FOR PATRONS AND EMPLOYEES. LIGHTING UNDERNEATH THE CANOPY SHALL BE LIMITED TO THOSE AREAS DIRECTLY OVER THE FUEL PUMPS. THE GAS CANOPY SHOULD NOT INCORPORATE ANY ADVERTISEMENT, LOGOS, STRIPING OR INSIGNIA. THE FINISH OF THE CANOPY SHOULD NOT BE A GLOSSY OR HIGHLY REFLECTIVE FINISH. ARCHITECTURAL FEATURES INCORPORATED AS PART OF THE BUILDING DESIGN SHOULD BE UTILIZED AND CARRIED INTO THE DESIGN OF THE GAS CANOPY.
- D. LIGHTING - THE USE OF FLOOD LIGHTS OR GENERAL GROUNDS LIGHTS IS NOT PERMISSIBLE. SECURITY LIGHTS ARE PERMISSIBLE IN LOCATIONS FOR SAFETY, BUT SHALL BE CUTOFF /SHIELDED TYPE THAT DIRECT LIGHT DOWNWARD (SUCH AS THOSE MOUNTED AT THE REAR BUILDING ENTRANCE). OUTDOOR TUBE OR NEON LIGHTING IS PROHIBITED. THE USE OF STRING OR SIMILAR LED LIGHTING THAT WRAPS ANY PART OF THE STRUCTURE (USED TO ATTRACT CUSTOMERS) IS PROHIBITED. WHERE ADJACENT TO RESIDENTIAL AREAS THE MAXIMUM ALLOWABLE LIGHTING LEVELS AT THE PROPERTY LINE IS 0.5 FT-CANDLES PER SQUARE FOOT.
- E. BUILDING ARCHITECTURE - THE BUILDING SHALL INCLUDE MATERIALS SUCH AS BRICK OR STUCCO (OR COMBINATION OF MATERIALS), WHICH WOULD BE CONSISTENT WITH THE EXTERIOR MATERIALS USED WITH NEARBY STRUCTURES. THE BUILDING SHALL UTILIZE EARTH-TONE COLORS AND AVOID USE OF ANY HIGHLY-REFLECTIVE MATERIALS. THE CONVENIENCE STORE BUILDING SHALL INCORPORATE A PITCHED ROOF (4:12 ROOF PITCH OR BETTER) DESIGN. RECESSED WINDOWS SHALL BE INCLUDED ON THE FRONT AND SIDES OF BUILDING. FAUX WINDOWS ARE ACCEPTABLE ON THE SIDES OF THE BUILDING. THE USE OF WINDOWS ON THE STOREFRONTS SHALL BE DIVIDED INTO SMALLER INDIVIDUAL WINDOWS OR GROUPINGS OF WINDOWS. LARGE PLATE GLASS WINDOWS FREQUENTLY UTILIZED IN MORE URBAN SETTINGS SHALL NOT BE USED.
- F. BICYCLE PARKING - THE DEMAND FOR BICYCLE PARKING WILL BE HIGHER AT THIS LOCATION SINCE A TRAIL CONNECTION AND PARKING LOT FOR THE MICCOSUKEE GREENWAY IS LOCATED ACROSS THE STREET. AT LEAST FIVE BICYCLE PARKING SPACES ARE SUGGESTED.
- G. HOURS OF OPERATIONS - STORE HOURS OF OPERATION WILL BE FROM 5 A.M. TO 11 P.M. LIMITED HOURS OF OPERATION WILL HELP REDUCE THE AMOUNT OF LIGHT DURING THE DARKER HOURS OF THE EVENING AND WILL ALSO HELP REDUCE LIGHTING IMPACTS ON NEARBY PROPERTIES. DURING NON-STORE HOURS GAS CANOPY LIGHTING SHALL BE DIMMED TO FURTHER REDUCE THE AMOUNT OF LIGHT TRESPASS & IMPACTS ON ADJACENT PROPERTIES.
- H. CROSS-ACCESS CONNECTION - AS PER SECTION 10-7.502(d), CROSS-ACCESS CONNECTION AND EASEMENT SHALL BE PROVIDED WHERE ADJACENT TO THE PROPERTY THAT IS TO THE SOUTH. A FUTURE INTERCONNECTION WOULD BE ESTABLISHED IF THE SITE TO THE SOUTH IS DEVELOPED/REDEVELOPED. THIS WILL HELP REDUCE THE POTENTIAL FOR TURNING CONFLICTS AND AVOIDABLE INTERFERENCE WITH TRAFFIC FLOW.



ALDAY-HOWELL
ENGINEERING, INC.
2860 HWY 71 NORTH, SUITE B
MARIANNA, FL 32446
PHONE (850) 526-2040 * FAX (850) 526-4740
E-MAIL : info@aldayhowell.com
FLORIDA CERTIFICATE OF AUTHORIZATION. NO. 26105

REVISIONS	INITIALS	DATE
DESCRIPTION		

CLIENT:

WILLIAM GLEN BROWN

PROJECT:

CRUMP ROAD
CONVENIENCE STORE

SHEET TITLE:

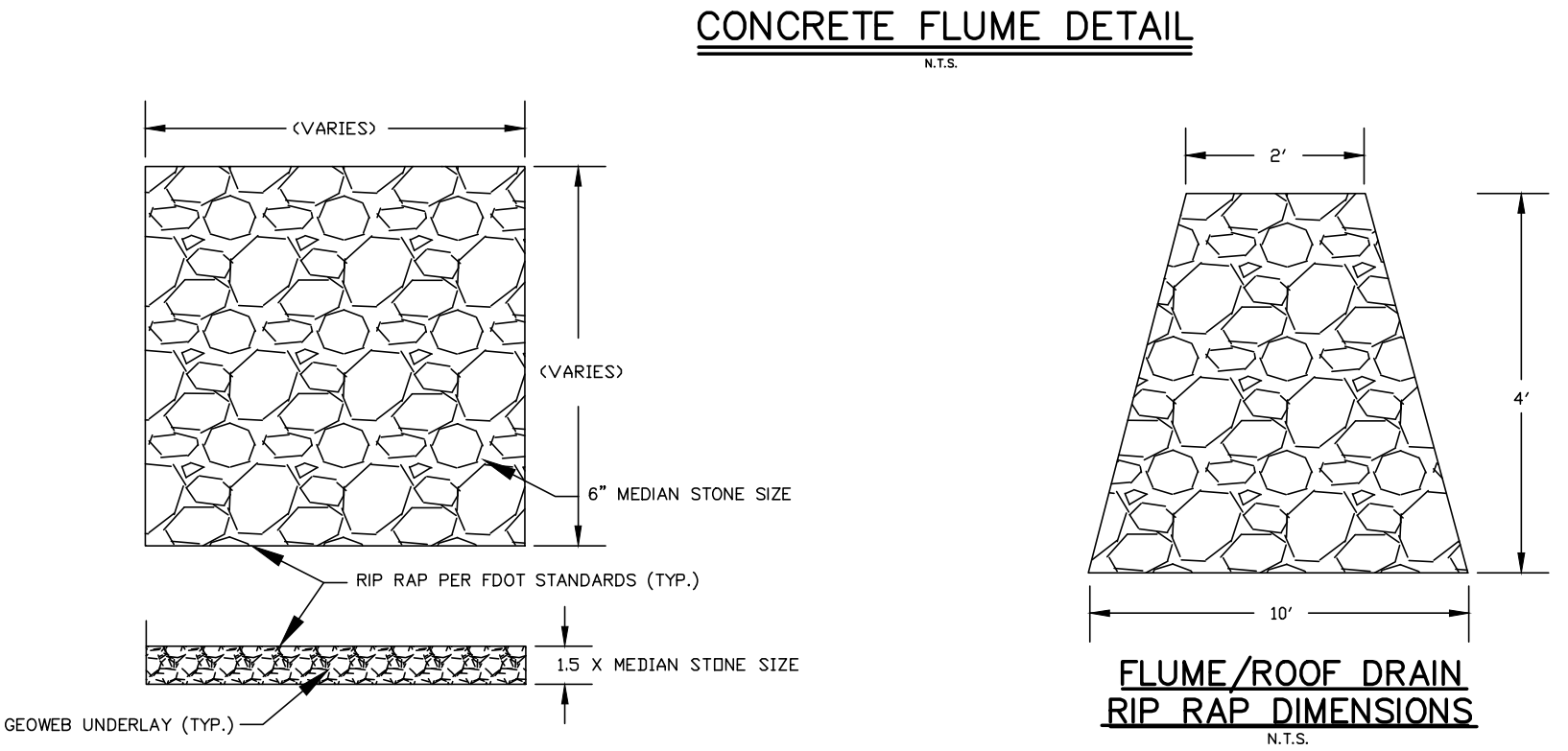
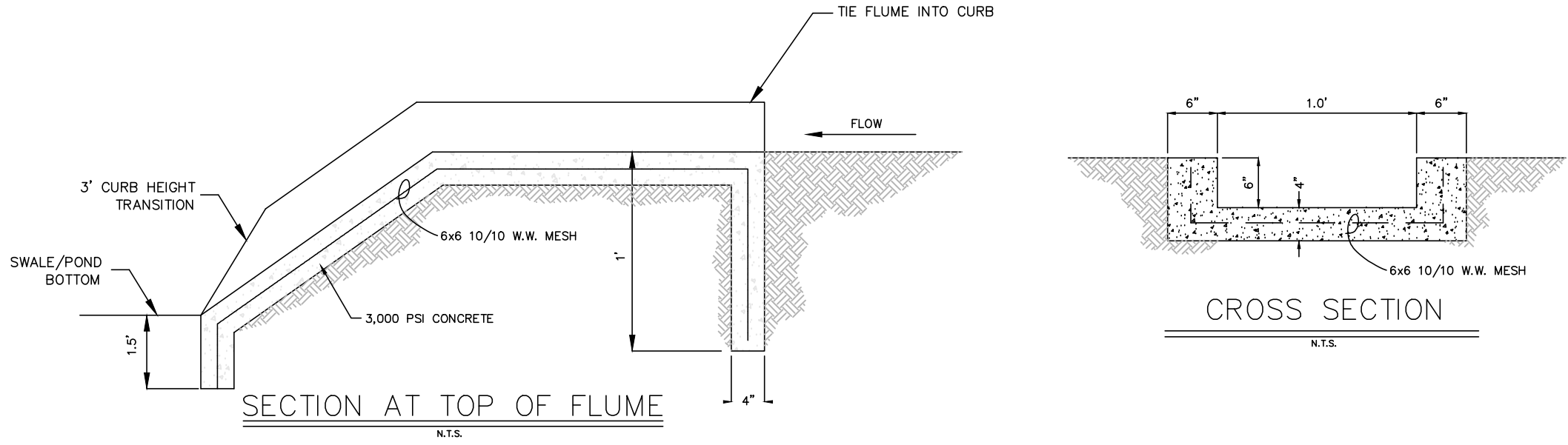
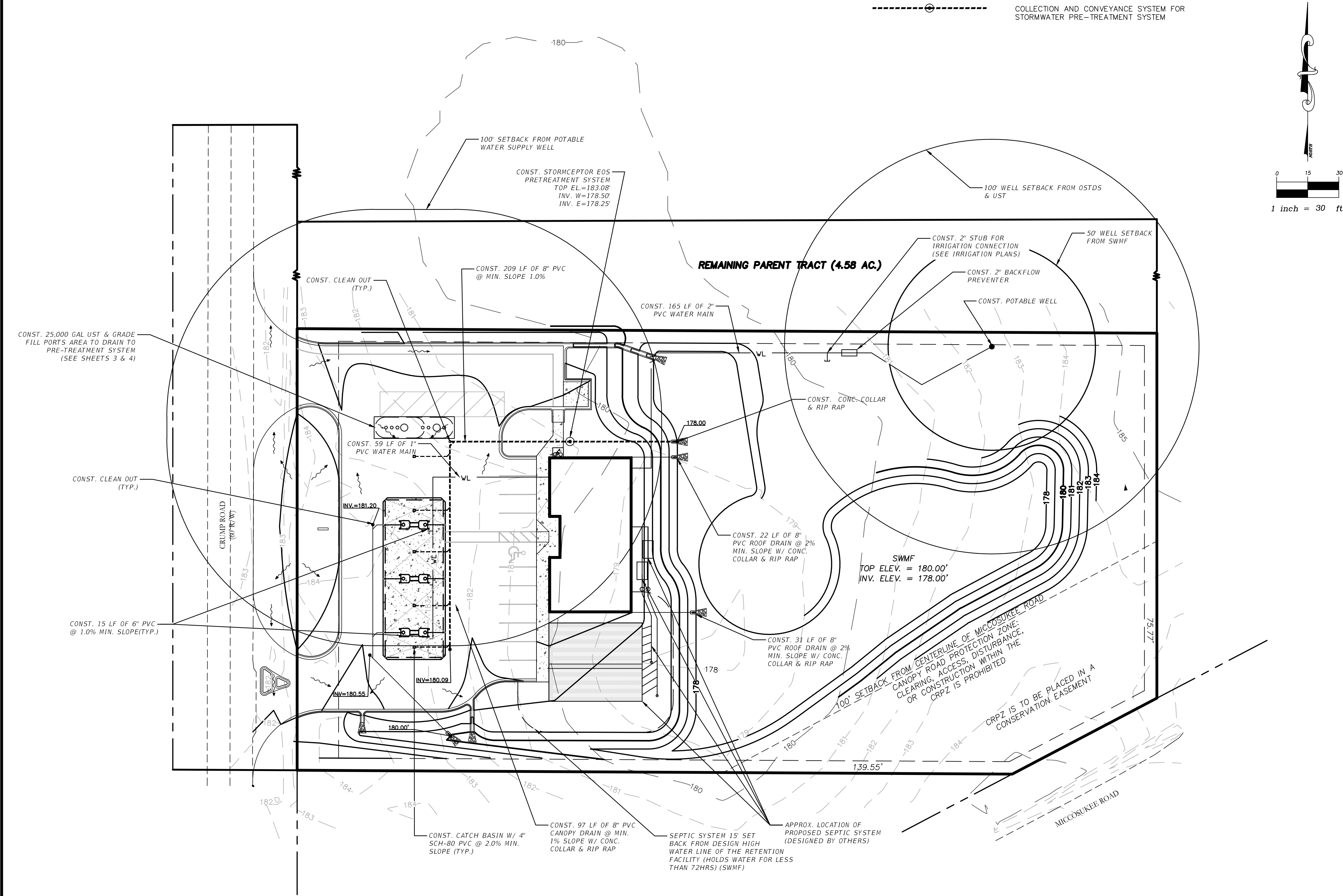
SITE PLAN

1"
IF THIS LINE DOES NOT
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LENGTH, THE SCALES
ON THIS DRAWING ARE
NOT VALID.

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JOB NO. 13-034
DRAWN BY ECW
CHECKED BY JAA
DATE 4/30/14
SHEET 4

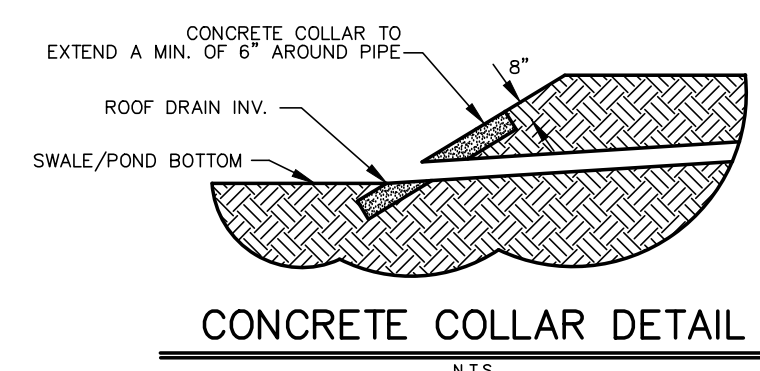
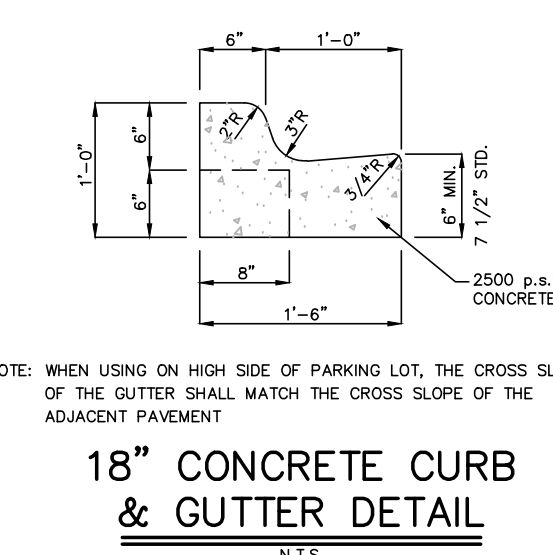
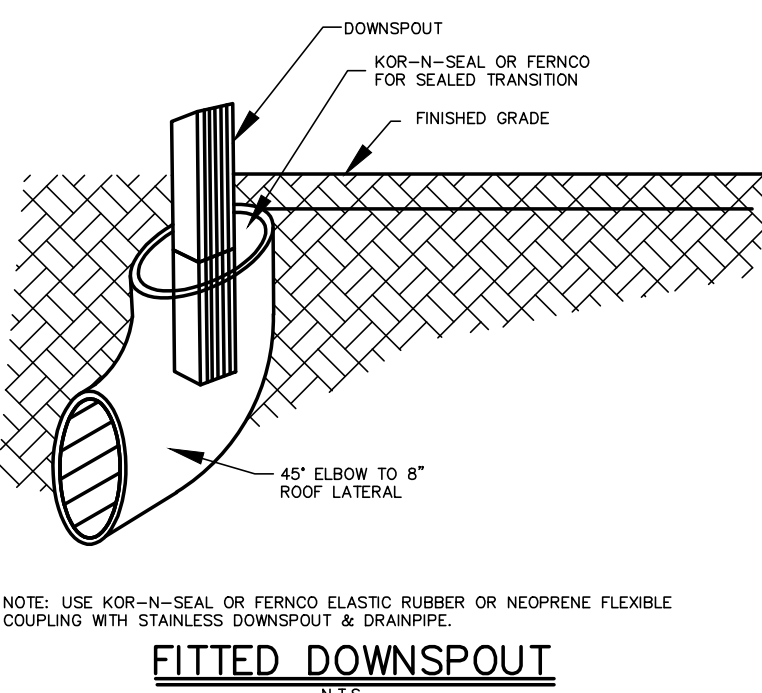
S:\1.0 Projects\13-034 Crump Rd Store\dwg\13-034 Crump Road.dwg, 05-UT, Etc, May 01, 2014, 10:18:12am



SETBACK TABLE					
DESCRIPTION	UST	POTABLE WELL	SWMF	PROPERTY LINE	BUILDING
UST	NA	100' ₂	NA	3' ₁	1' ₁
SEPTIC	NA	100' ₂	15' ₂	5' ₂	5' ₂
POTABLE WELL	100' ₂	NA	50' ₂	NA	NA

1 NFPA 30, FLAMMABLE AND COMBUSTIBLE LIQUIDS CODE, 2012 EDITION.
2 CHAPTER 62-55.312 F.A.C.
3 CHAPTER 64E-6 F.A.C.

BASED UPON FIELD AND AERIAL PHOTOGRAPH OBSERVATIONS OF THE SITE AND SURROUNDING AREAS THERE APPEAR TO BE NO EXISTING COMMUNITY WATER SUPPLY SYSTEMS OR ANY NON-TRANSIENT NON-COMMUNITY WATER SUPPLY SYSTEMS MEETING THE REQUIREMENTS OF 62-761.500(1)(A)F.A.C. OR 62-521.400(1)(1)(N)F.A.C. WITHIN 500' OF THE PROPOSED UST.



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PROJECT:

CRUMP ROAD
CONVENIENCE STORE

SHEET TITLE:

DRAINAGE AND UTILITY PLAN

1"

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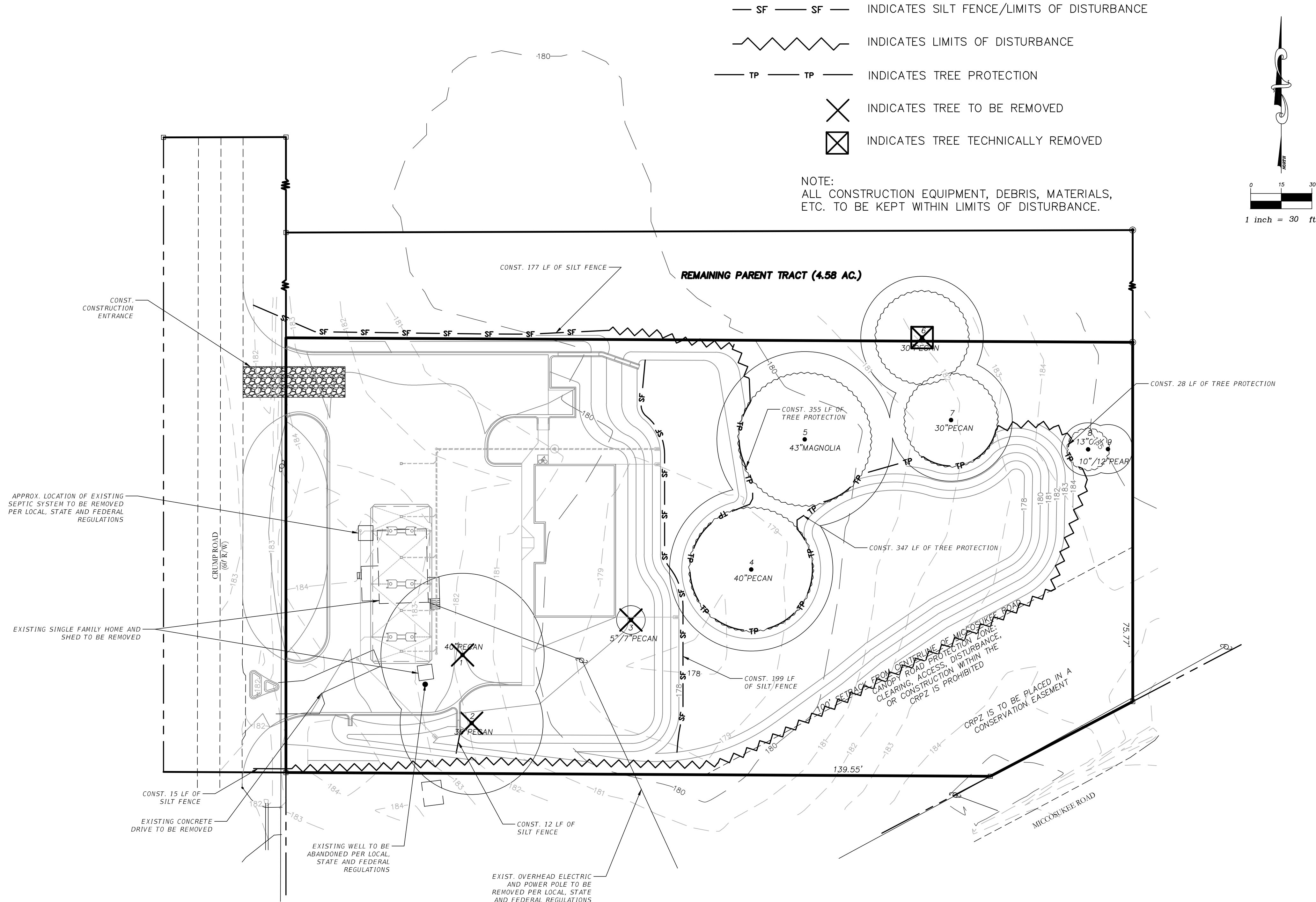
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CHECKED BY JAA

DATE 4/30/14

SHEET 5



EROSION AND SEDIMENT CONTROLS NOTES

- 1) ESC'S ARE TO BE CONSTRUCTED IN ALL AREAS WHERE POTENTIAL RUNOFF DURING CONSTRUCTION WILL DISCHARGE OFF-SITE.
- 2) ESC'S INCLUDE SILT FENCE, HAY BALES, SILT BARRIERS, ETC... AND SHALL BE PLACED AS NECESSARY IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR SEDIMENT BARRIER.
- 3) ESC'S MAY BE REQUIRED AROUND INLETS UNTIL SITE IS STABILIZED.
- 4) DURING CONSTRUCTION ALL SEDIMENT CONTROLS, STABILIZATION, STORMWATER CONTROLS, ETC... ARE THE RESPONSIBILITY OF THE CONTRACTOR.

DESCRIPTION OF SITE & CONSTRUCTION ACTIVITIES

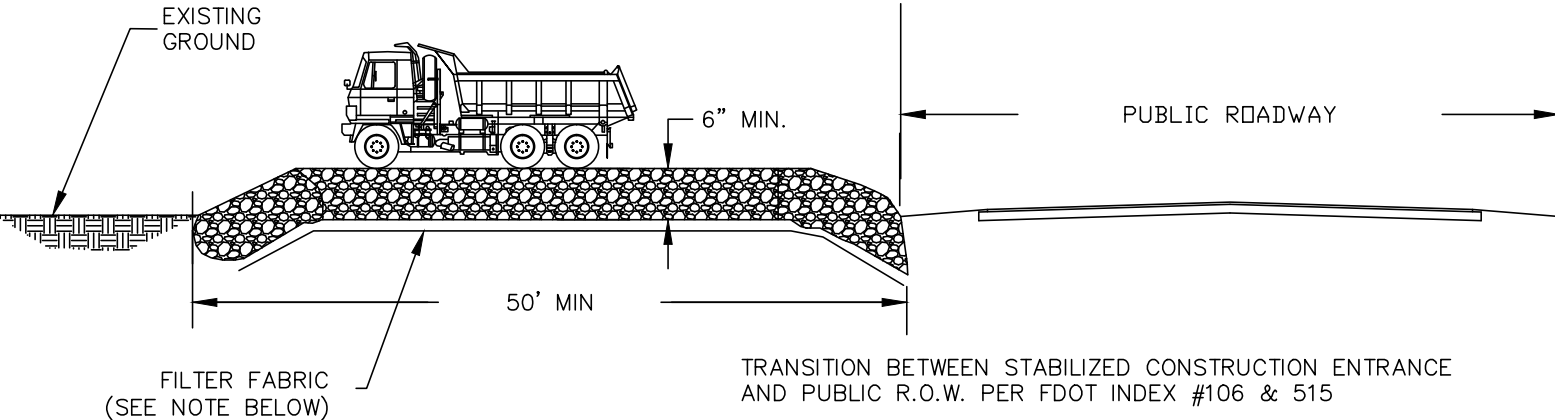
PROJECT SITE:	2.00 +/- ACRES
PROJECT LOCATION:	NORTHEAST CORNER OF THE INTERSECTION OF MICCOSUKEE ROAD AND CRUMP ROAD, IN LEON COUNTY, FLORIDA.
PROJECT DESCRIPTION:	2,904 COMMERCIAL BUILDING AND ASSOCIATED PARKING, DRIVEWAY AND STORMWATER IMPROVEMENTS
DESCRIPTION OF CONSTRUCTION ACTIVITIES:	COMMERCIAL CONSTRUCTION, PAVED STREET & PARKING AREA, CONCRETE SIDEWALKS, AND STORMWATER MANAGEMENT SYSTEMS.
DISCHARGE OF STORMWATER:	STORMWATER RUNOFF GENERATED ON SITE IS COLLECTED AND CONVEYED TO THE STORMWATER RETENTION POND FOR TREATMENT. NO DISCHARGE POST-DEVELOPMENT.
RECEIVING WATERS:	PRE-DEVELOPMENT (ST. MARKS WATERSHED), POST-DEVELOPMENT (N/A)
ENVIRONMENTALLY SENSITIVE AREAS:	N/A

NPDES REQUIREMENTS

INSPECTION:	CONTRACTOR SHALL HAVE A QUALIFIED INSPECTOR INSPECT ALL SEDIMENT AND EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH 0.5" OR MORE RAINFALL EVENT.
REPORT:	THE SEDIMENT AND EROSION CONTROL INSPECTOR SHALL ALSO KEEP A MAINTENANCE RECORD OF INSPECTION DATES AND TIMES, RESULTS OF INSPECTION, ANY REPAIRS THAT WERE NECESSARY, AND ANY ADDITIONAL MEASURES THAT HAVE BEEN ADDED. THE SWPPP ALONG WITH THE MAINTENANCE RECORD SHALL BE KEPT ON-SITE FOR INSPECTION BY FDEP AND OTHER APPROPRIATE ENTITIES AT ALL TIMES.
DOCUMENTATION:	ALL DOCUMENTS REQUIRED TO OBTAIN THE NPDES PERMIT INCLUDING THE RECORD OF MAINTENANCE AND REPAIRS AS WELL AS THE SWPPP, SHALL BE KEPT A MINIMUM OF 4 YEARS AFTER FINAL STABILIZATION IS ACHIEVED AND CONTROL DEVICES HAVE BEEN REMOVED.

STORMWATER EROSION CONTROL OFFICER:
WILLIAM GLEN BROWN
2802 TOPAZ WAY
TALLAHASSEE, FL 32309
(850) 528-6293

TREE DEBIT / CREDIT					
TREE #	COMMON NAME	SIZE (DBH)	PRESERVED REMOVED MITIGATED	DEBIT	CREDIT
1	PECAN	40"	REMOVED	20	
2	PECAN	35"	REMOVED	16	
3	TWIN PECAN	5\"/>7"	REMOVED		
4	PECAN	40"	PRESERVED		20
5	MAGNOLIA	43"	PRESERVED		24
6	PECAN	30"	TECH. REMOVED		0
7	PECAN	30"	PRESERVED		10
8	OAK	13"	PRESERVED		6
9	TWIN PEAR	10\"/>12"	PRESERVED		4
TOTAL				36	64

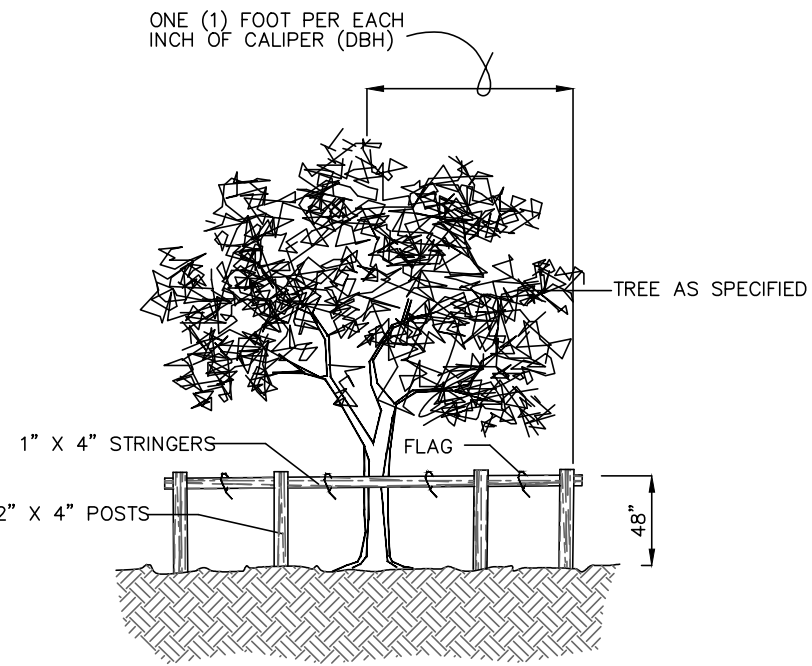


* A CRUSHED LIMEROCK, SOIL TRACKING PREVENTION DEVICE SHALL BE INSTALLED AT THE CONSTRUCTION ENTRANCE TO THE SITE TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. DEVICE SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 1/2 INCHES IN DIAMETER. DEVICE SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND APPROPRIATELY MAINTAINED PER FDOT INDEX #106.

CONSTRUCTION ENTRANCE DETAIL

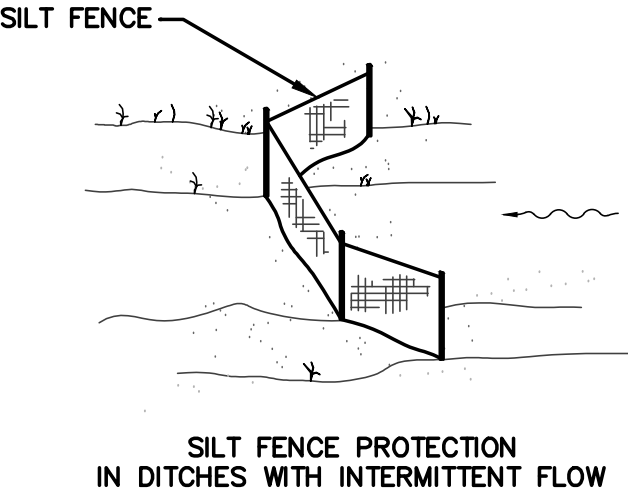
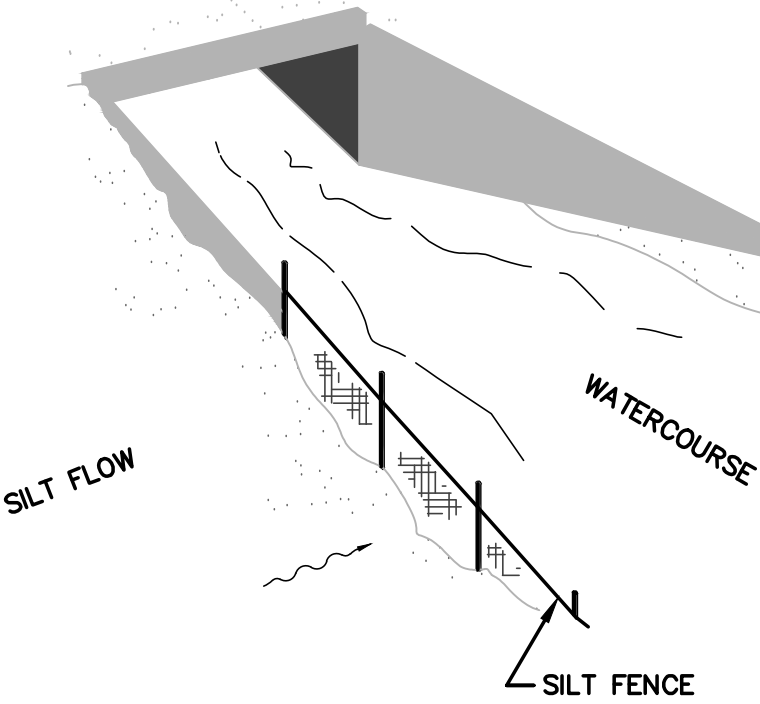
N.T.S.

TREE PROTECTION BARRICADES SHALL BE LOCATED TO PROTECT 100% OF THE CRITICAL PROTECTION ZONE

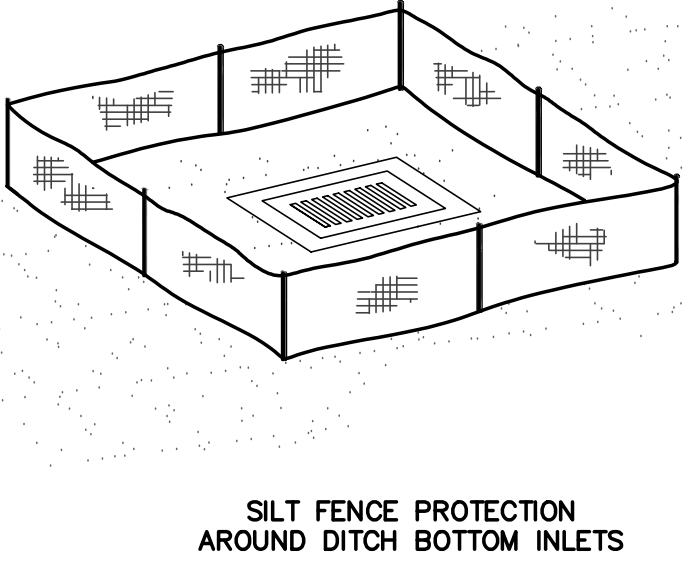


TREE PROTECTION DETAIL

N.T.S.

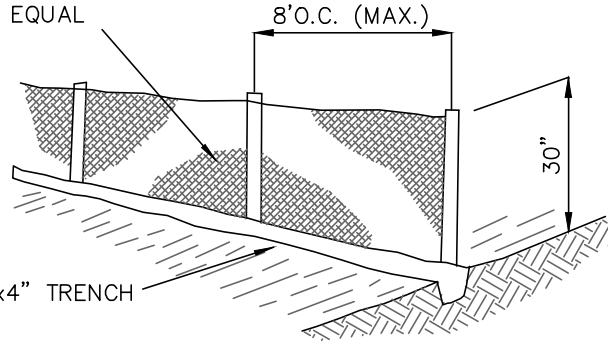


SILT FENCE APPLICATIONS

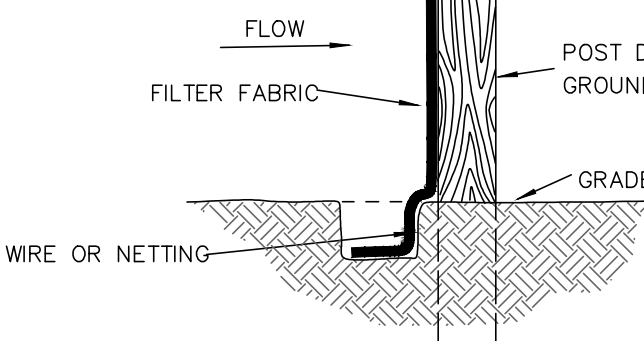


SILT FENCE PROTECTION
AROUND DITCH BOTTOM INLETS

ENVIROFENCE 100X WITH SED. FILTER FABRIC
NETTING & POST OR APPROVED EQUAL



ELEVATION
SILT FENCE DETAIL
N.T.S.



SECTION
N.T.S.

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MARIANNA, FL 32446
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FLORIDA CERTIFICATE OF AUTHORIZATION. NO. 26105

REVISIONS		
DESCRIPTION	INITIALS	DATE

CLIENT:

WILLIAM GLEN BROWN

PROJECT:

CRUMP ROAD
CONVENIENCE STORE

SHEET TITLE:

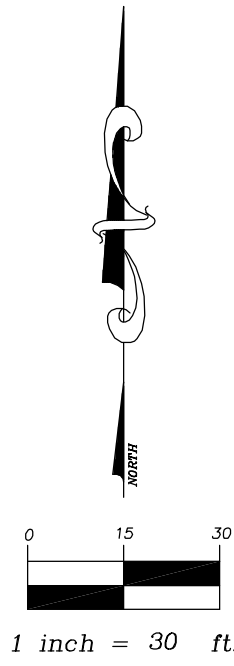
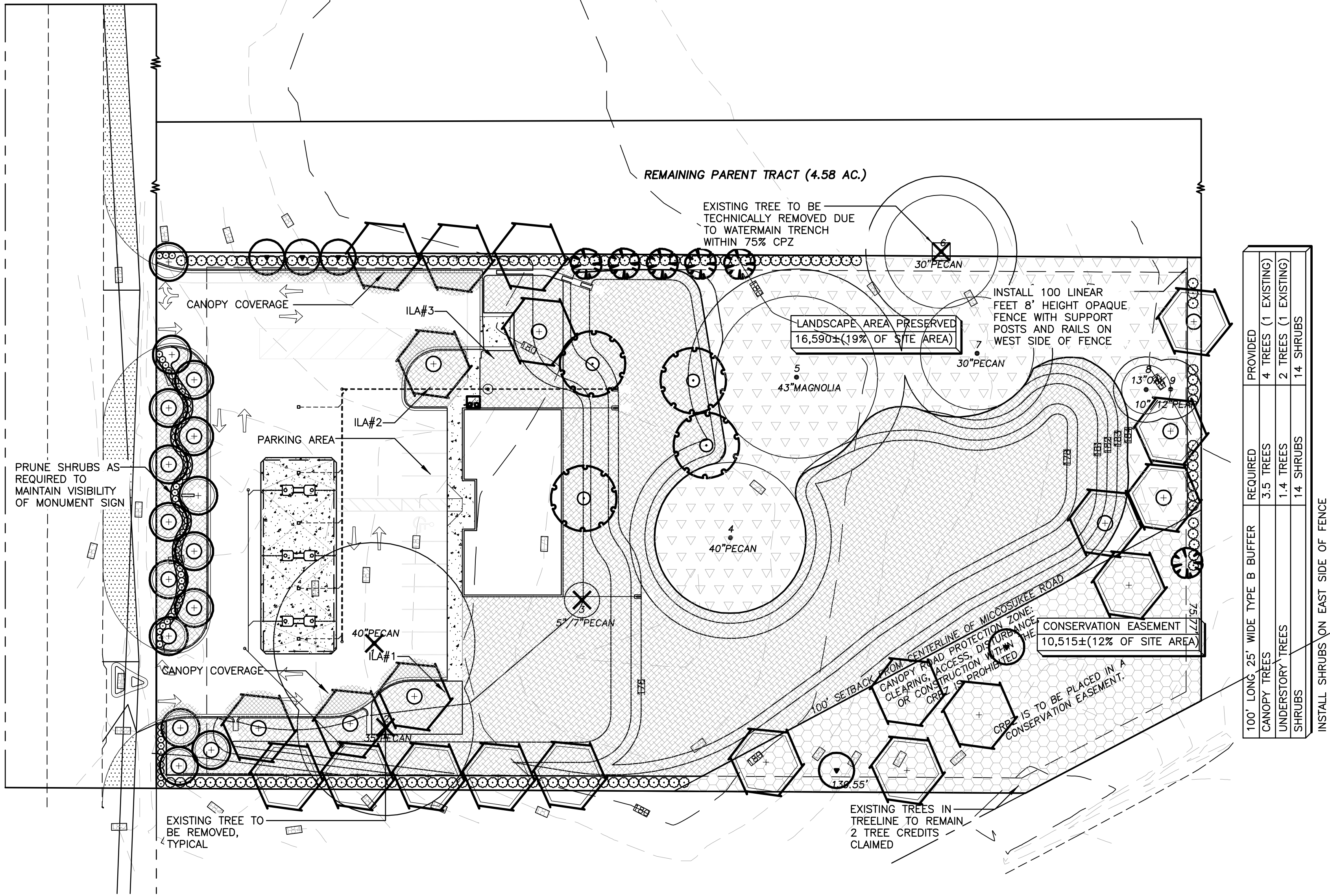
TREE REMOVAL,
DEMOLITION &
SWPP PLAN

1"
IF THIS LINE DOES NOT
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JOB NO. 13-034
DRAWN BY ECW
CHECKED BY JAA
DATE 4/30/14
SHEET 6

LANDSCAPE SUPERVISOR:
WILLIAM GLEN BROWN
2802 TOPAZ WAY
TALLAHASSEE, FL 32309
(850) 528-6293



TREE PLANTING CREDITS		
QTY	DESCRIPTION	CREDITS
8	PRESERVED EXISTING TREE (SEE SCHEDULE SHEET 6)	28
52	PROPOSED TREES (40% CANOPY COVERAGE & PERIMETER LANDSCAPING)	52
TOTAL		80

TREE CREDIT - DEBIT	
REFORESTATION REQUIREMENT = 40 TREES/ACRE	80
TOTAL TREES REPLANTING/PRESERVED	80
TOTAL TREE CREDITS	0

LANDSCAPING REQUIREMENTS

FRONTAGE REQUIREMENTS
(1 TREE/25' REQUIRED LANDSCAPE PERIMETER AREA)

PROPERTY LINE	LENGTH	CANOPY TREES REQUIRED	CANOPY TREES PROVIDED
NORTH	281'	12 TREES	12
SOUTH	205'	9 TREES	9
EAST	-	EXISTING VEGETATION	-
WEST	157'	7 TREES	7

PAVED PARKING AREA	1,944 SF
CANOPY COVERAGE REQUIRED (40%)	777 SF
CANOPY COVERAGE PROVIDED	1,513 SF

LANDSCAPE AREA PRESERVED	16,590±(19% OF SITE AREA)
--------------------------	---------------------------

CONSERVATION EASEMENT	10,515±(12% OF SITE AREA)
-----------------------	---------------------------

TOTAL AREA PRESERVED	27,105±(31% OF SITE AREA)
----------------------	---------------------------

VEHICULAR USE AREA	17,272 SF
INTERIOR LANDSCAPE AREA REQUIRED	400/5000 SF
INTERIOR LANDSCAPE AREA PROVIDED	
ILA#1	717 SF
ILA#2	464 SF
ILA#3	1,403 SF
TOTAL	2,584 SF

REFORESTATION REQUIREMENTS	10,515 S.F.
TREE CREDITS REQUIRED(40/ACRE)	10
SHRUBS REQUIRED(1/2 TREE CREDIT)	5

LANDSCAPE LEGEND



LANDSCAPE AREA PRESERVED

16,590±(19% OF SITE AREA)



CONSERVATION EASEMENT

10,515±(12% OF SITE AREA)

GROUND COVER



38,000± S.F. INCLUDING 10% FOR WASTE
BERMUDA SOD
CYNODON DACTYLON

SHRUBS



65 DWARF INDIAN HAWTHORN
RAPHIOLEPIS INDICA
3 GAL. 30" O.C.
18" HEIGHT 15" SPREAD
PRUNE AFTER FLOWERING, WATCH FOR LEAF SPOT

139 WALTER'S VIBURNUM
VIBURNUM OBOVATUM

3 GAL. 4' O.C.
18" HEIGHT 15" SPREAD

PRUNE LIGHTLY AFTER FLOWERING

UNDERSTORY TREES



5 EASTERN RED BUD
CERCIS CANADENSIS
30 GAL. 2" CALIPER
WATCH FOR LEAF SPOT AND BORERS
PRUNE LOWER BRANCHES FOR VISIBILITY

3 'SAVANNAH' HOLLY
ILEX ATTENUATA 'SAVANNAH'

2" CALIPER MIN 3" C.T.
WATCH FOR LEAF MINER

15 'CATAWBA' CRAPE MYRTLE
LAGERSTROEMIA INDICA 'CATAWBA'

30 GAL. 2" CALIPER
WATCH FOR MILDEW AND APHIDS

PRUNE LOWER BRANCHES FOR VISIBILITY

CANOPY TREES



4 'ALLEE' ELM
ULMUS PARVIFOLIA 'ALLEE'

2" CALIPER

FEED ONCE A YEAR WITH A SLOW RELEASE FERTILIZER

11 LIVE OAK
QUERCUS VIRGINIANA

2" CAL. MATCHED

PRUNE CROSSING OR BROKEN LIMBS

NATIVE TREE WITH HIGH WILDLIFE VALUE

14 AMERICAN SWEETGUM
LIQUIDAMBAR STYRACIFLUA

2" CALIPER STRAIGHT TRUNK

WATCH FOR LEAF SPOT AND BAGWORMS

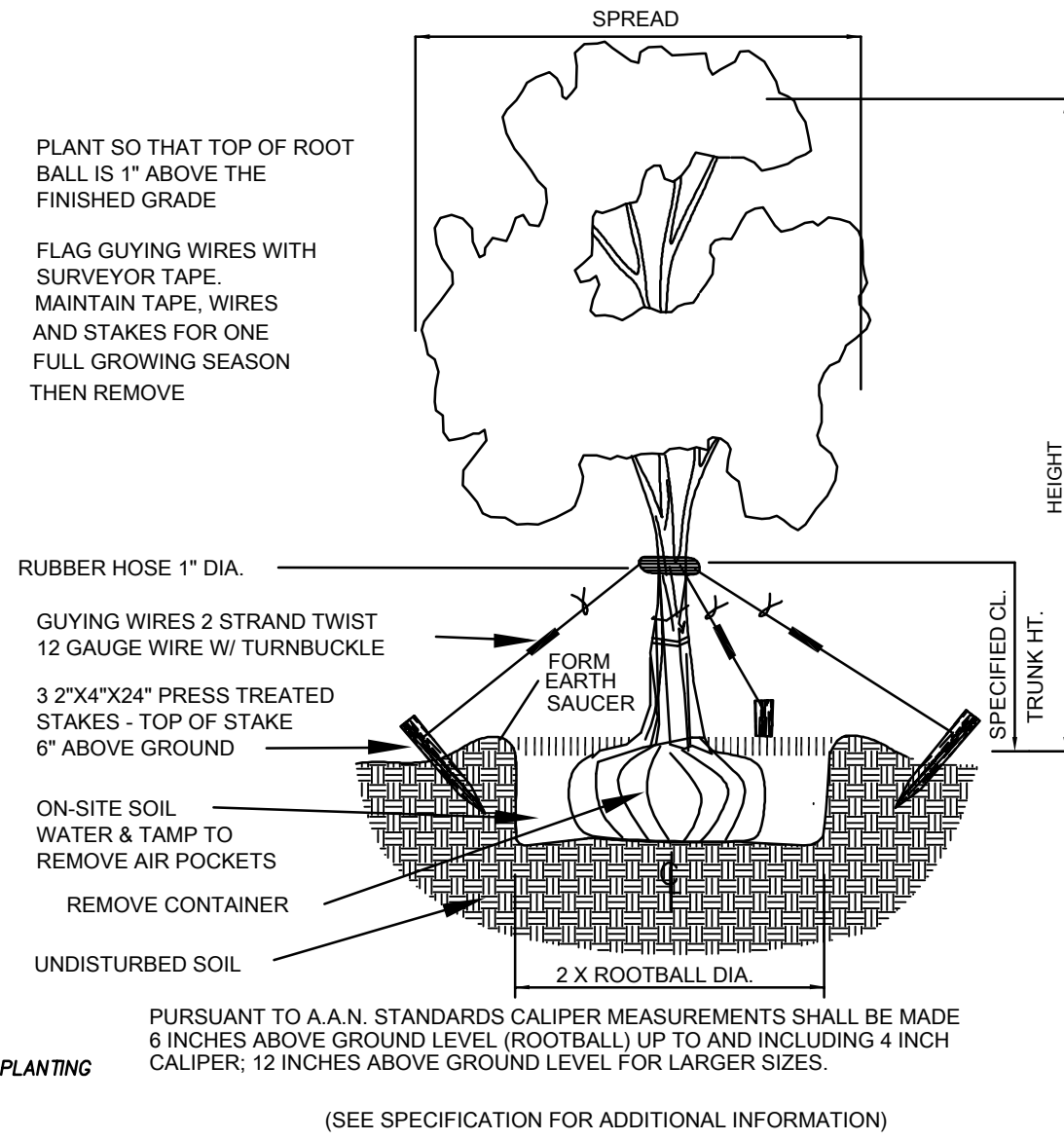
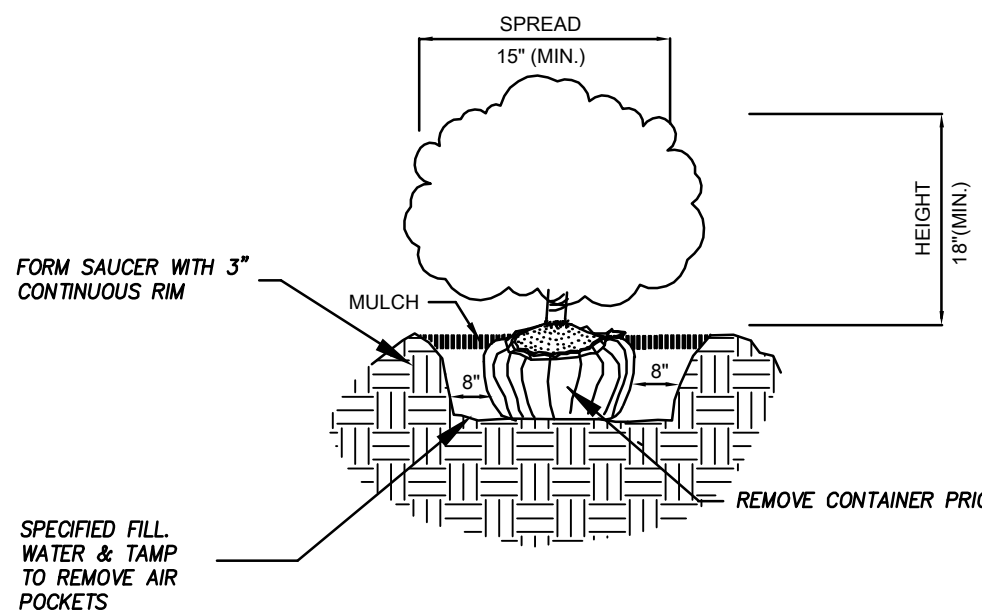
NATIVE TREE WITH HIGH WILDLIFE VALUE

LANDSCAPE NOTES:

- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING INSTALLATION OF LANDSCAPING.
- CONTRACTOR SHALL INSTALL ONLY PLANTS GRADED FLORIDA #1, AS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE "GRADES AND STANDARDS FOR NURSERY PLANTS" PART 1 AND 2 AND REVISIONS, AND WHICH MEET OR EXCEED THE SIZES INDICATED IN THE PLANTING SCHEDULE, DETAILS, OR AS SPECIFIED IN THE PLAN. ALL PLANT MATERIAL SHALL BE HEALTHY, WELL PROPORTIONED, AND DISEASE FREE.
- CONTRACTOR SHALL INSTALL AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF ALL NEWLY PLANTED PLANTS AND GRASSED AREAS. ALL IRRIGATION LINES INSTALLED SHALL NOT IMPACT CPZ OF PROTECTED TREES. CONTRACTOR SHALL SUBMIT SHOP DRAWING PLANS OF PROPOSED SYSTEM TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. PROVIDE TEMPORARY, ABOVE-GROUND IRRIGATION IN CANOPY ROAD PROTECTION ZONE.
- IRRIGATION SLEEVES REQUIRED UNDER PARKING OR DRIVE AREAS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF THE LIMEROCK BASE.
- ALL PLANTS, LANDSCAPE MATERIALS, AND WORKMANSHIP ARE SUBJECT TO APPROVAL BY THE OWNER.
- ALL PLANTS AND MATERIAL INSTALLATION SHALL MEET ALL LEON COUNTY REQUIREMENTS OR STANDARDS AS WELL AS INDUSTRY STANDARDS LANDSCAPE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING PLANTS AND GRASS UNTIL IRRIGATION SYSTEM HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
- AFTER ACCEPTANCE BY THE OWNER, THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY THE ENVIRONMENTAL PERMIT IN PERPETUITY.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 2 INCHES OF PINE STRAW AFTER PLANTS HAVE

BEEN INSTALLED.

- INTERIOR LANDSCAPE ISLANDS/AREAS SHALL HAVE A MINIMUM PLANTING VOLUME OF 1,200 C.F. WITH A MINIMUM DEPTH OF THREE FEET (3') BELOW THE FINISHED GRADE OF THE PLANTING AREA AND LACED WITH NON-COMPACTED 'FRIBLE' TOPSOIL.
- FOR ALL SHRUB PLANT MATERIAL, MULCH PITS AND PLANTED AREAS PROVIDE NOT LESS THAN TWO INCHES (2") OF MULCH AND WORK INTO TOP OF PLANTING SOIL MIXTURE PRIOR TO TOP DRESSING WITH PINE STRAW.
- FERTILIZE ALL TREES IN ACCORDANCE WITH ARTICLE 14, CHAPTER 10 OF THE LEON COUNTY LAND DEVELOPMENT CODE.
- TREAT ALL PLANTING BEDS WITH PRE-EMERGENT AND POST-EMERGENT HERBICIDES IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS.
- VERIFY ALL QUANTITIES IN THE PLANTING SCHEDULE PRIOR TO PRICING. INSTALL ALL PLANTS AND MATERIALS AS SHOWN ON THE PLANS, SCHEDULE, OR DETAILS.
- CONTRACTOR SHALL PROVIDE A ONE YEAR GUARANTEE ON ALL PLANTS OR INSTALLED MATERIALS.
- NO SUBSTITUTIONS OR REVISIONS ARE ALLOWED WITHOUT PRIOR APPROVAL OF THE OWNER, ENGINEER OF RECORD, AND ENVIRONMENTAL INSPECTOR. NO EXCEPTIONS!
- A MINIMUM IRRIGATION REQUIREMENT HOSE BIBS ARE TO BE PLACED AT A MAXIMUM DISTANCE OF 100' FROM PROPOSED LANDSCAPING.
- ANY IRRIGATION PLAN PROPOSED BY THE CONTRACTOR MUST BE APPROVED BY LEON COUNTY PRIOR TO CONSTRUCTION.



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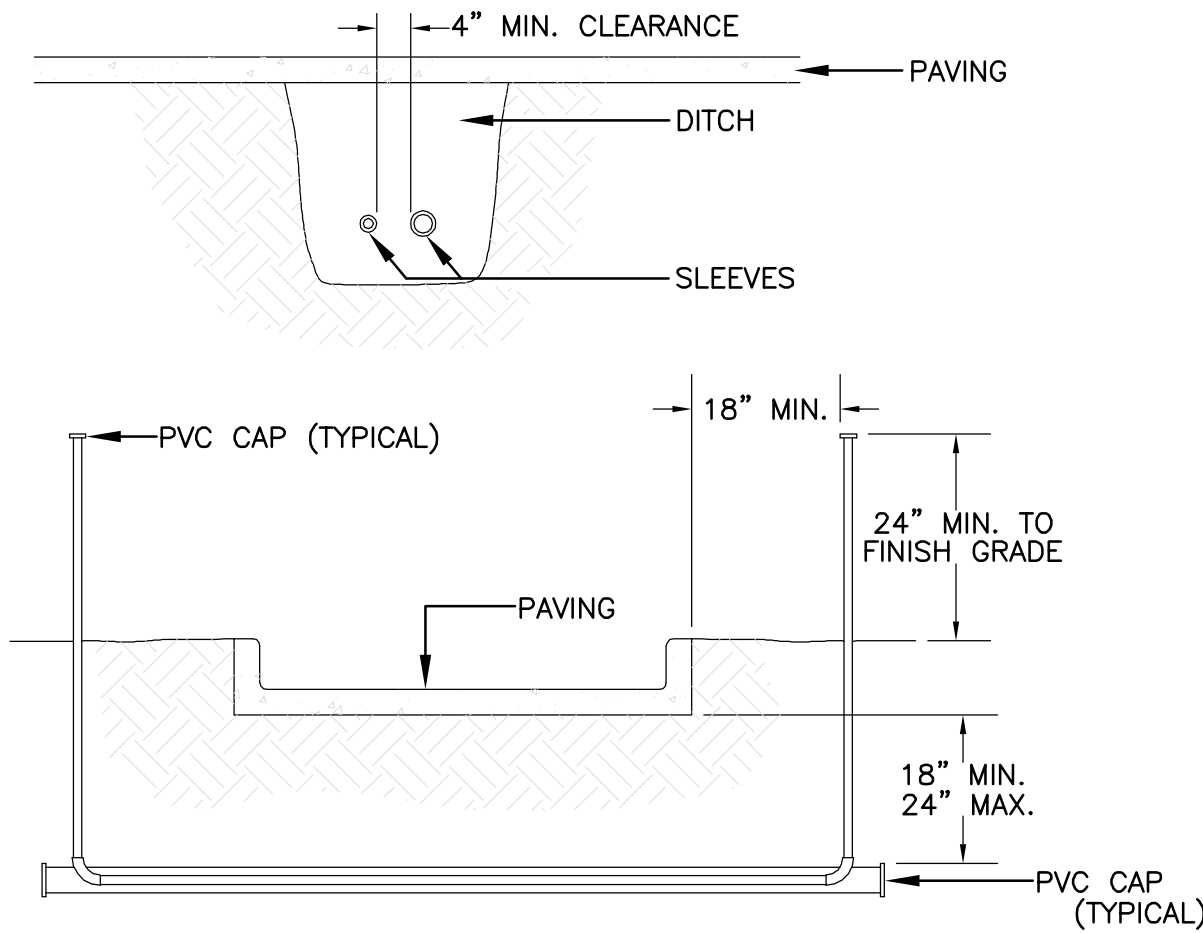
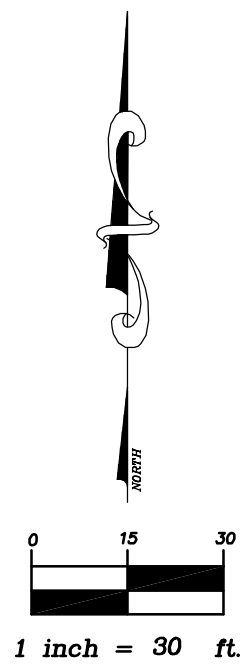
LANDSCAPE PLAN

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DATE 3/19/14
SHEET 7

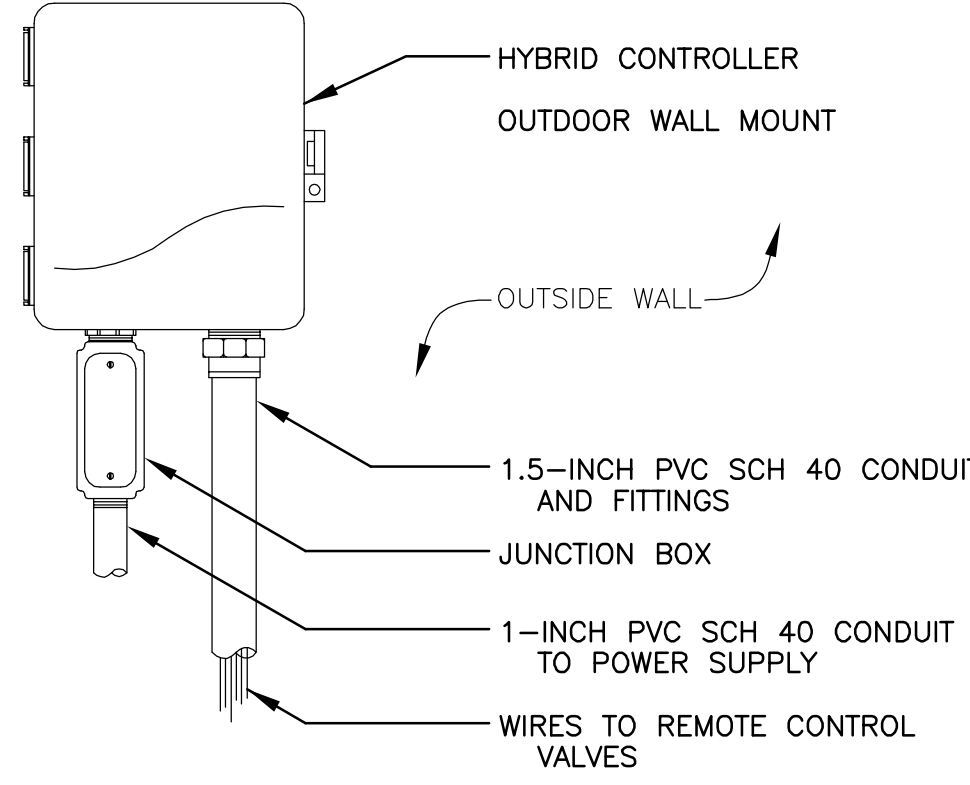
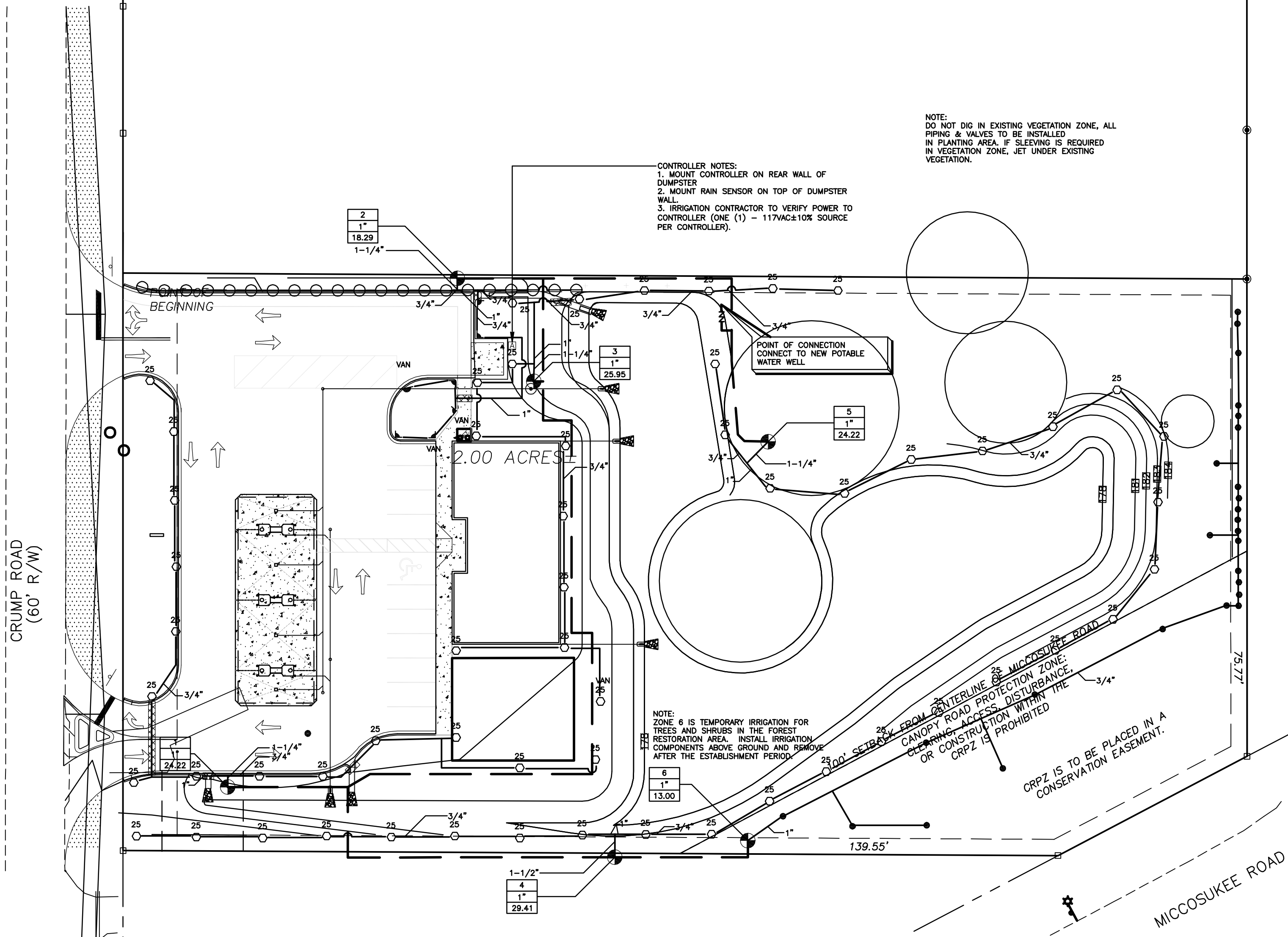
LANDSCAPE SUPERVISOR:
WILLIAM GLEN BROWN
2802 TOPAZ WAY
TALLAHASSEE, FL 32309
(850) 528-6293



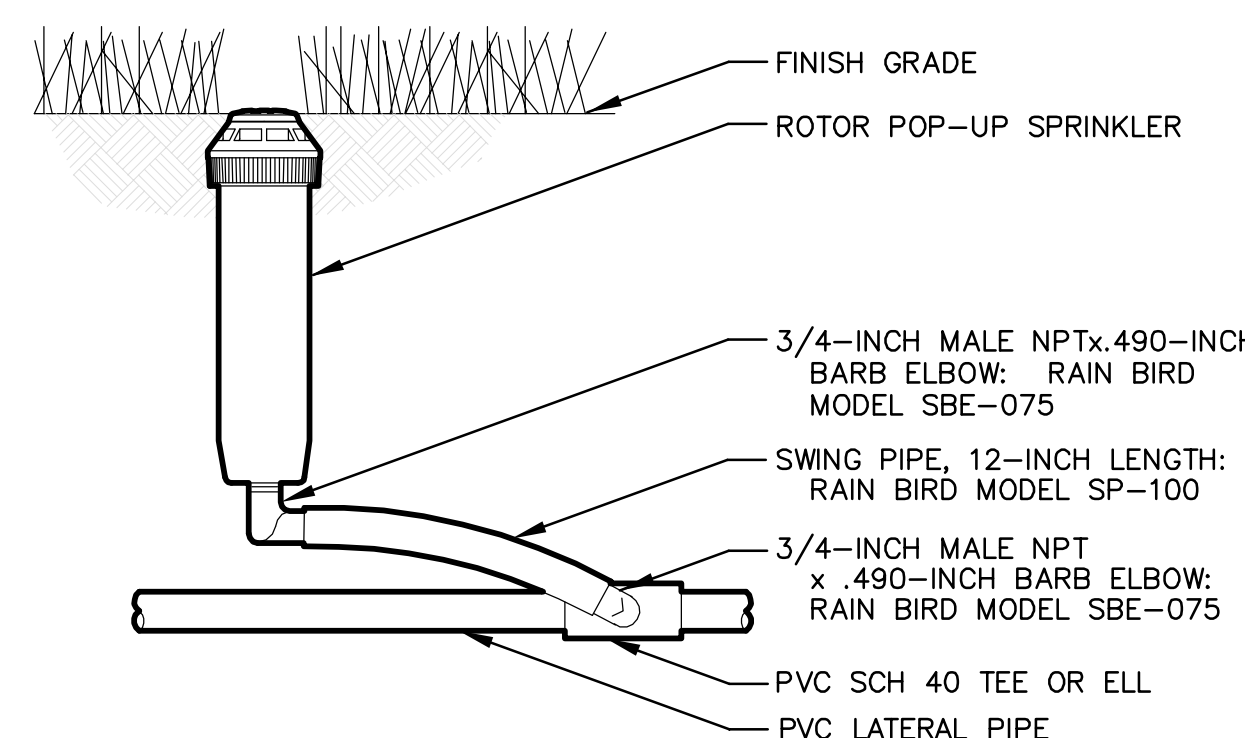
- NOTES:
1. ALL PVC IRRIGATION SLEEVES TO BE SCHEDULE 40 PIPE.
 2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
 3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
 4. MECHANICALLY TAMP TO 95% PROCTOR.

1 SLEEVING DETAIL
SCALE: N.T.S.

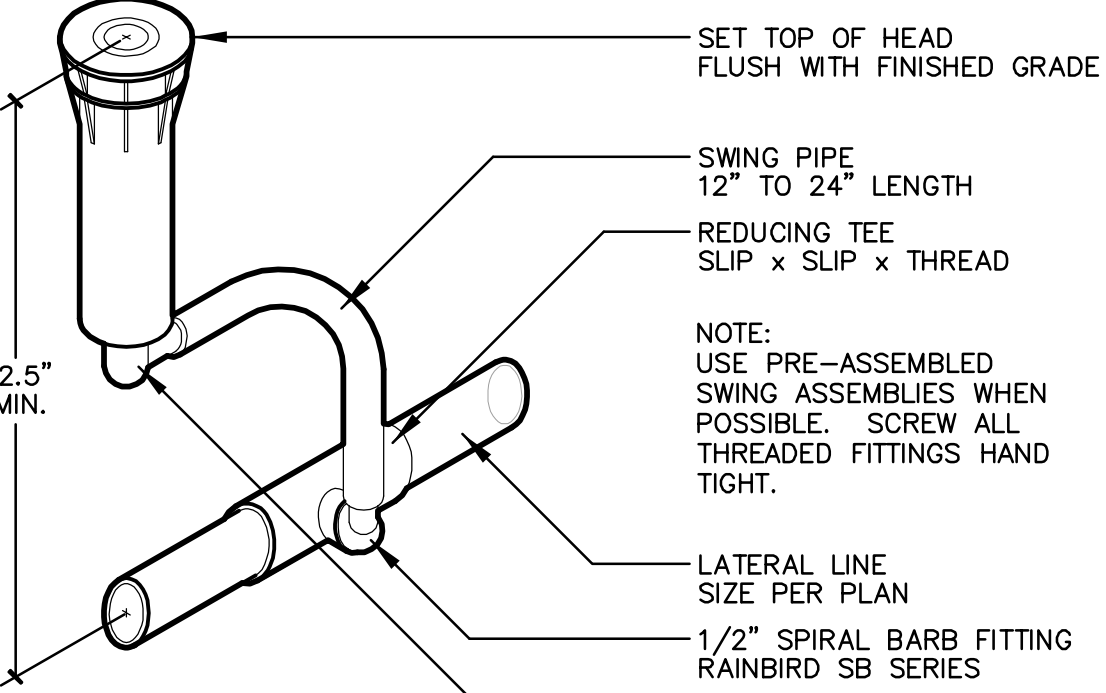
- IRRIGATION NOTES:
1. LOCATE ALL UTILITIES BEFORE DIGGING. PROTECT ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION.
 2. PIPE ROUTING IS DIAGRAMMATIC. PLACE IRRIGATION LINES WITHIN PLANTING AND TURF AREAS UNLESS SLEEVING IS INDICATED. ROUTE PIPING TO AVOID TREE LOCATIONS. LOCATE MAINLINE AND VALVE BOXES WITHIN PROPERTY LINES.
 3. SYSTEM IS DESIGNED TO OPERATE AT 32 GPM AT 70 PSI.
 4. PROCURE ALL NECESSARY PERMITS TO COMPLETE INSTALLATION OF IRRIGATION SYSTEM PER STATE AND LOCAL CODES.
 5. JET OR BORE FOR SLEEVING WHERE NECESSARY TO ACCOMMODATE LATERAL LINES, MAIN LINES, OR CONTROL WIRE.
 6. PROVIDE A MINIMUM 12" COVER OVER LATERAL LINES AND A MINIMUM OF 18" COVER OVER MAINLINES.
 7. INSTALL ALL ELECTRICAL SERVICE TO MEET LOCAL CODES.
 8. PROVIDE POP-UP SPRINKLERS ONLY. MOUNT SPRINKLERS ON POLY PIPE WITH BARBED FASTENERS UNLESS OTHERWISE SPECIFIED IN PROVIDED DETAILS.
 9. MOUNT HEADS FLUSH WITH FINISHED GRADE. INSTALL HEADS 6" OFF ALL SIDEWALKS AND 1' FROM BUILDING WALLS.
 10. INSTALL VALVES IN 15" BOXES WITH TAMPER RESISTANT LIDS.
 11. ALL IRRIGATION CONTROL WIRE TO BE 14-GAUGE WIRE. PROVIDE WHITE FOR COMMON, RED FOR HOT, AND A SPARE BLUE WIRE PARALLEL TO COMMON THROUGHOUT THE ENTIRE SYSTEM.
 12. MAKE ALL WIRE SPLICES WITH WATERPROOF SPLICE KITS RATED FOR DIRECT BURIAL. NEATLY COIL 30" OF SLACK WIRE IN VALVE BOX.
 13. ADJUST HEADS TO MAXIMIZE COVERAGE AND MINIMIZE OVERSPRAY.
 14. SEE THIS SHEET FOR INSTALLATION DETAILS.



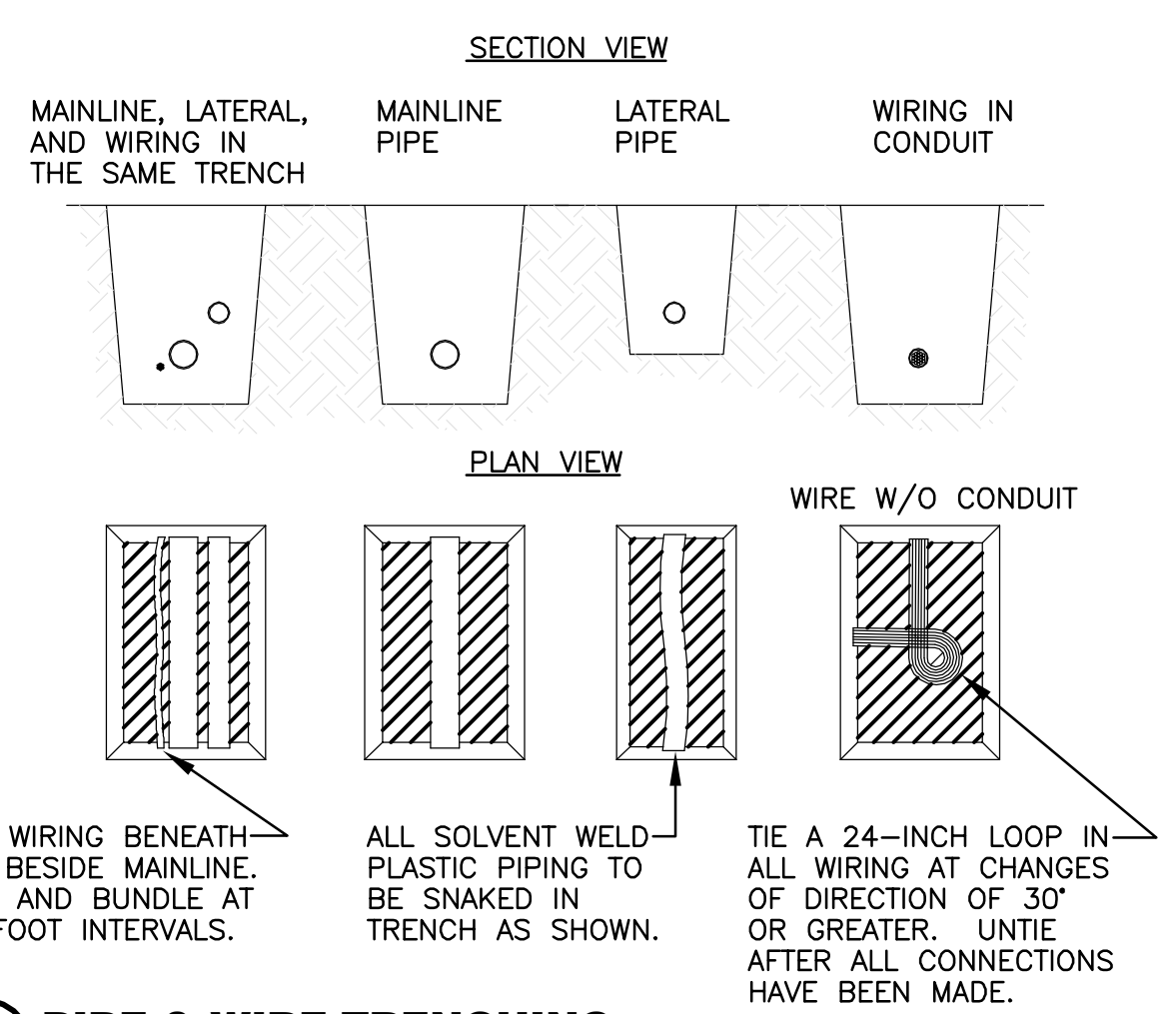
5 HYBRID CONTROLLER
SCALE: N.T.S.



4 MEDIUM RANGE ROTOR
SCALE: N.T.S.



3 SPRAYHEAD DETAIL
SCALE: 1/4\"/>



2 PIPE & WIRE TRENCHING
SCALE: N.T.S.

IRRIGATION SCHEDULE			
QUANTITY	KEY	MODEL (RAINBIRD UNLESS OTHERWISE NOTED)	GALLONS PER MINUTE
21	⊖	1806-8H	.52
3	⬆ VAN	1806-15VAN	.92-1.85
4	⬆	1806-15Q	.92
26	●	1400 BUBBLER	.50
57	○ 25	5004-MPR-25-H	1.73 @ 35 PSI
6	⊗ 1"	1" ELECTRIC REMOTE CONTROL VALVE 100-PGA	
1	⊗	7 STATION CONTROLLER ESP-4M FOUR STATION BASE WITH (1) THREE STATION MODULE	
1	▲	RAIN SENSOR RSD-BEX	
1	⌌	1-1/2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER	

IRRIGATION LEGEND	
	SCHEDULE 40 MAINLINE
	2" CLASS 200 LATERAL LINE SIZE AS NOTED
	6" SCHEDULE 40 SLEEVE UNLESS NOTED OTHERWISE
	VALVE NUMBER
	VALVE SIZE
	GALLONS PER MINUTE

ALDAY-HOWELL ENGINEERING, INC.
2860 HWY 71 NORTH, SUITE B
MARIANNA, FL 32446
PHONE (850) 526-2040 * FAX (850) 526-4740
E-MAIL : info@aldayhowell.com
FLORIDA CERTIFICATE OF AUTHORIZATION. NO. 26105

REVISIONS		
DESCRIPTION	INITIALS	DATE

CLIENT:

WILLIAM GLEN BROWN

PROJECT:

CRUMP ROAD
CONVENIENCE STORE

SHEET TITLE:

IRRIGATION PLAN

IF THIS LINE DOES NOT MEASURE ONE INCH IN LENGTH, THE SCALES ON THIS DRAWING ARE NOT VALID.

NOT VALID UNLESS EMBOSSED

JOB NO. 13-034
DRAWN BY ECW
CHECKED BY JAA
DATE 3/19/14
SHEET 8

F:\Alan New\plan\4011 Crump Road Convenience\10.14.13\034 Crump Road Final.dwg, 08-PR, dht, Apr 18, 2014, 9:46:35am

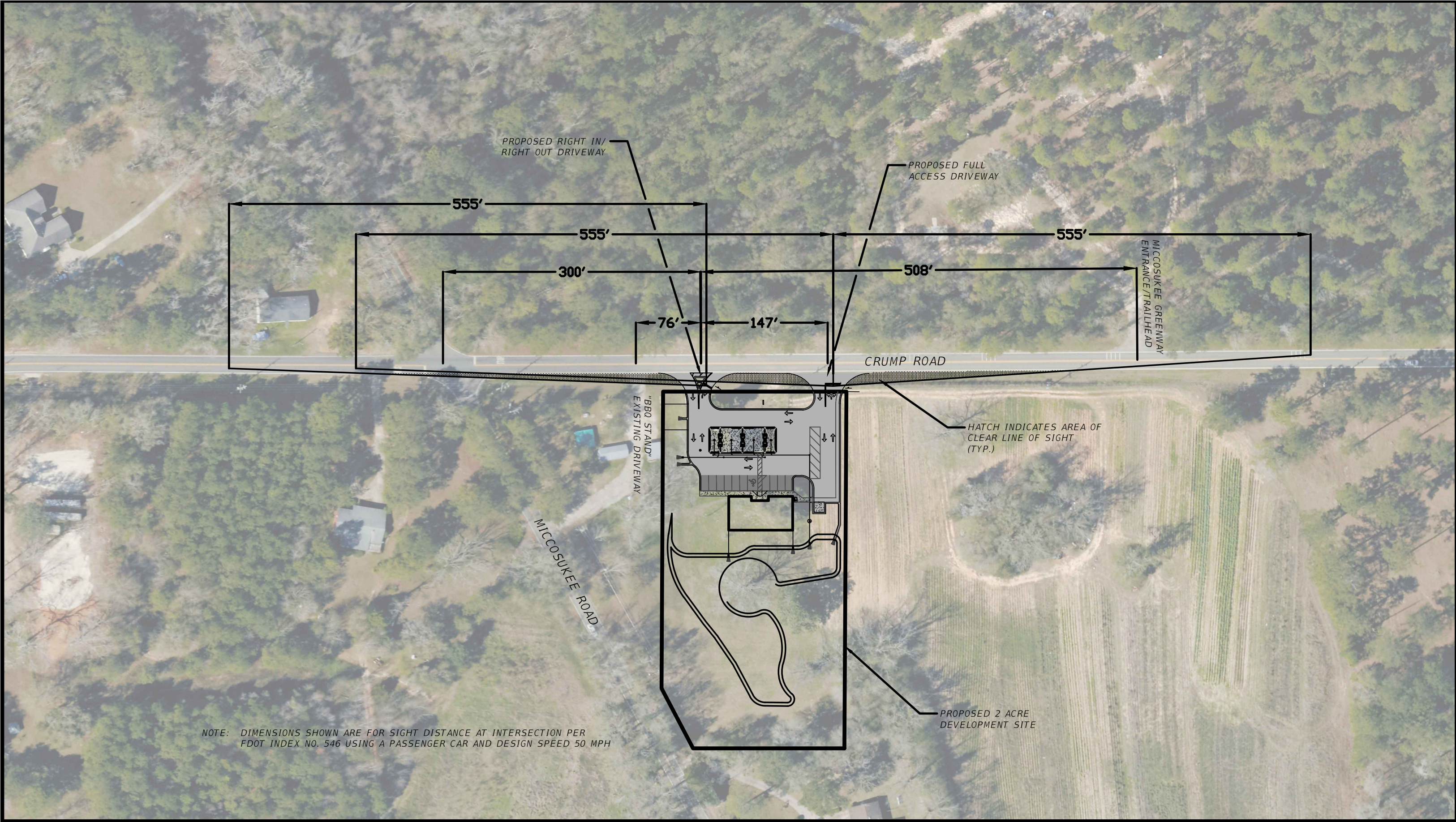


EXHIBIT B – SIGHT DISTANCE/DRIVEWAYS WITHIN 300'

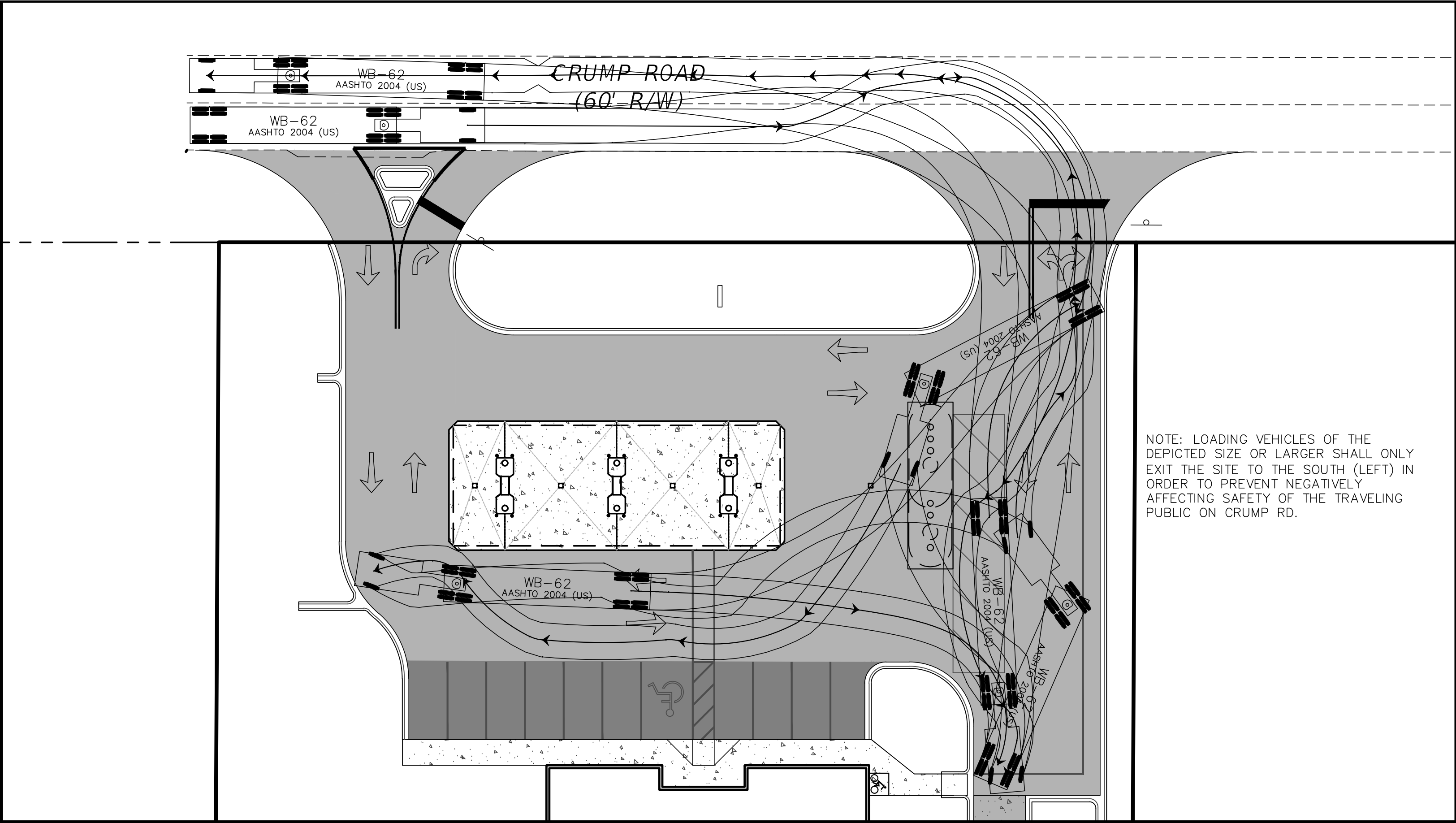


EXHIBIT C1 – SEMI-TRUCK

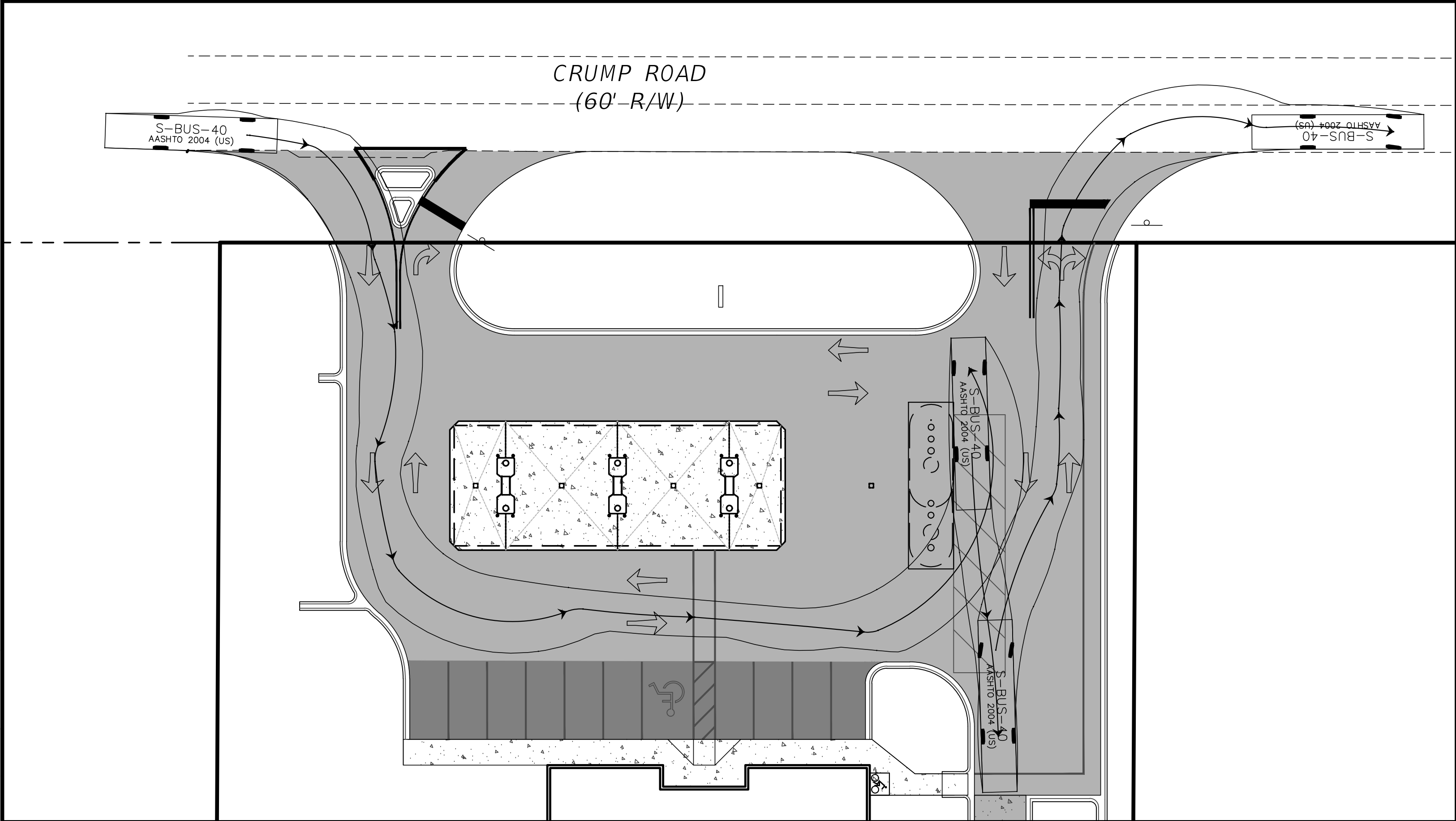


EXHIBIT C2 – DUMPSTER VEHICLE

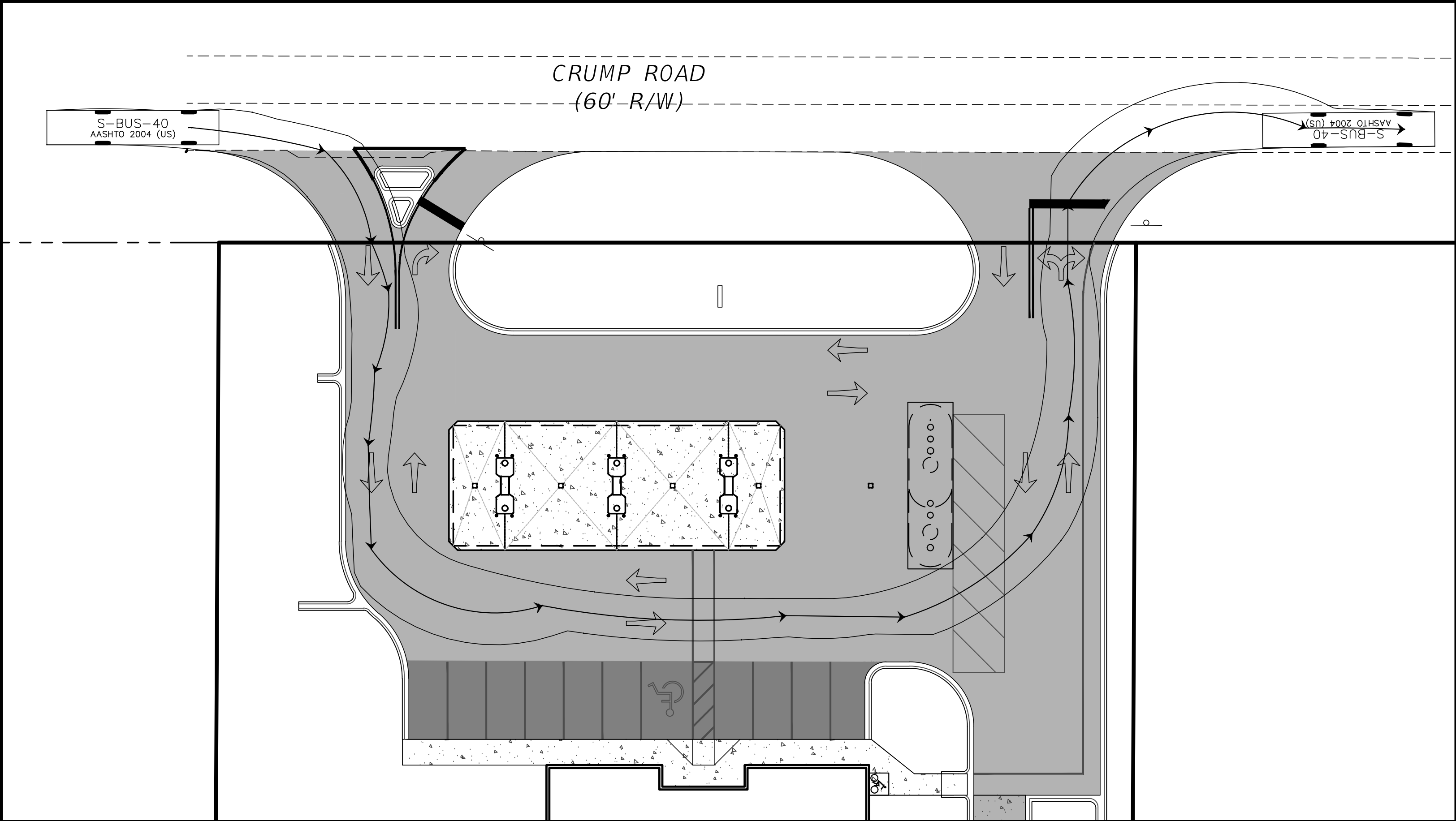


EXHIBIT C3 – EMERGENCY VEHICLE

ALDAY-HOWELL ENGINEERING, INC.
2860 HWY 71 NORTH, SUITE B
MARIANNA, FL 32446
PHONE (850) 526-2040 * FAX (850) 526-4740
E-MAIL : info@aldayhowell.com
FLORIDA CERTIFICATE OF AUTHORIZATION. NO. 26105

REVISIONS		
DESCRIPTION	INITIALS	DATE

CLIENT:

WILLIAM GLEN BROWN

PROJECT:

CRUMP ROAD
CONVENIENCE STORE

SHEET TITLE:

SIGHT DISTANCE &
AUTO-TURN
CIRCULATION PLANS

1" = 100'
IF THIS LINE DOES NOT MEASURE ONE INCH IN LENGTH, THE SCALES ON THIS DRAWING ARE NOT VALID.

NOT VALID UNLESS EMBOSSED

JOB NO. 13-034
DRAWN BY ECW
CHECKED BY JAA
DATE 4/30/14
SHEET 9

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